

ZONING
RESIDENTIAL

ASSESSORS
MAP 34, LOT 32

RECORD OWNER
BAYSTATE INVESTORS GROUP

REFERENCES

DEED BOOK 61180, PAGE 105

SURVEY NOTES

1. THE ABUTTER'S NAMES AND DEED REFERENCES SHOWN HEREON HAVE BEEN TAKEN FROM CURRENT TAX ASSESSOR RECORDS.
2. THE LOCUS PROPERTY LIES IN A RESIDENTIAL ZONING DISTRICT AND IS SUBJECT TO THE FOLLOWING SETBACK DISTANCES:

FRONT YARD SETBACK – 30 FT
SIDE YARD SETBACK – 20 FT
REAR YARD SETBACK – 20 FT

3. ALL FOUND MONUMENTS SHOWN HEREON WERE LOCATED USING JAVAD GNSS RECEIVER EQUIPMENT AND THE GLOBAL NAVIGATION SATELLITE SYSTEM WITH AN AUTONOMOUS BASE POSITION. THE BASE POSITION AND ALL LOCATED POINTS WERE THEN ADJUSTED TO THE MASS. STATE PLANE COORDINATE SYSTEM (MAINLAND ZONE) USING THE MASS. AND ADJOINING STATES' CORS NETWORKS. ALL BEARINGS NOTED (G) ARE MASS. STATE PLANE GRID BEARINGS. THE BENCHMARKS AND ALL ELEVATIONS SHOWN HEREON ARE ON 1988 NAVD (NORTH AMERICAN VERTICAL DATUM).

4. THE LOCUS PROPERTY IS SITUATED IN NON-HAZARD FLOOD ZONE "X" AS SHOWN ON FEMA COMMUNITY PANEL 25027C-0458E DATED 07/04/2011.

GENERAL NOTES

1. LOCATIONS OF EXISTING UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES/OBSTRUCTIONS/SYSTEMS MAY NOT BE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS, WHETHER OR NOT SHOWN HEREON.
2. UNLESS OTHERWISE SHOWN, ALL NEW UTILITIES SHALL BE UNDERGROUND.
3. CONTRACTOR SHALL FURNISH CONSTRUCTION LAYOUT OF BUILDING AND SITE IMPROVEMENTS. THIS WORK SHALL BE PERFORMED BY A PROFESSIONAL LAND SURVEYOR.
4. SAFETY MEASURES, CONSTRUCTION METHODS AND CONTROL OF WORK SHALL BE RESPONSIBILITY OF CONTRACTOR.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION THAT ARE NOT DESIGNATED FOR DEMOLITION AND / OR REMOVAL HEREON. DAMAGED IMPROVEMENTS SHALL BE REPAIRED TO THE SATISFACTION OF THEIR RESPECTIVE OWNERS.
6. THIS PLAN IS NOT INTENDED TO SHOW AN ENGINEERED BUILDING FOUNDATION DESIGN, WHICH WOULD INCLUDE DETAILS AND FINAL ELEVATIONS OF FOOTINGS, WALLS AND SUBSURFACE DRAINAGE TO PREVENT INTERIOR FLOODING. SEE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS.
7. ANY INTENDED REVISION OF THE HORIZONTAL AND/OR VERTICAL LOCATION OF IMPROVEMENTS TO BE CONSTRUCTED AS SHOWN HEREON SHALL BE REVIEWED AND APPROVED BY ENGINEER PRIOR TO IMPLEMENTATION.
8. RIM ELEVATIONS SHOWN FOR NEW STRUCTURES ARE APPROXIMATE AND ARE PROVIDED TO ASSIST CONTRACTOR WITH MATERIAL TAKEOFFS. FINISH RIM ELEVATIONS SHOULD MATCH PAVEMENT, GRADING OR LANDSCAPING, UNLESS SPECIFICALLY INDICATED OTHERWISE.
9. WHERE EXISTING UTILITY LINES/STRUCTURES ARE TO BE CUT/BROKEN DOWN/ ABANDONED, LINES/STRUCTURES SHALL BE PLUGGED/CAPPED/FILLED IN ACCORDANCE WITH OWNER REQUIREMENTS.
10. THE CONTRACTOR SHALL VERIFY THE LOCATION AND RELATIVE ELEVATION OF BENCH MARKS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
11. PROPOSED BUILDING FOUNDATION CONFIGURATION AND LOCATION ON THE LOT AS SHOWN ARE CONCEPTUAL AND SHALL BE VERIFIED AS TO CONFORMANCE WITH FINAL ARCHITECTURAL PLANS AND ZONING ORDINANCES PRIOR TO CONSTRUCTION.
12. SILT FENCE SHOWN HEREON SHALL BE INSTALLED BEFORE EARTH DISTURBANCE OCCURS WITHIN BUFFER ZONE, AND SHALL SERVE AS THE LIMIT OF WORK.

REGULATORY NOTES

1. CONTRACTOR SHALL CONTACT DIG-SAFE FOR UNDERGROUND UTILITY MARKING AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
2. CONTRACTOR SHALL MAKE HIMSELF AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS, AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
3. ALL WORK OUTSIDE OF BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF BUILDING FOUNDATIONS SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 24B CMR 2.00.

DIMENSIONAL REQUIREMENTS

	REQUIRED	EXISTING	PROPOSED
LOT AREA	87,120 SF	24,743 ^[1] SF	24,743 ^[1] SF
FRONTAGE	225 FT	175.02 ^[1] FT	175.02 ^[1] FT
FRONT YARD	30 ^[2] FT	120.0± ^[2] FT	3.0± ^[2/4] FT
SIDE YARD	20 FT	20.5± FT	39.0± FT
REAR YARD	20 FT	N/A	N/A FT
MAXIMUM BUILDING HEIGHT	90 FT	35± ^[3] FT	35± FT
MAXIMUM STORIES	3	2.5	3
MAXIMUM BUILDING COVERAGE	N/A	10.5 %	26 %
MAXIMUM GROSS FLOOR AREA RATIO	N/A	0.3±	3
MAXIMUM UNITS PER ACRE	N/A	1.8±	UNITS/Ac. 19.4± UNITS/Ac.
MINIMUM PARKING SPACES PER UNIT	N/A	4	SPACES/UNIT 1.9 SPACES/UNIT
TOTAL PARKING SPACES	N/A	4	SPACES 21 SPACES

[1] EXISTING NON-CONFORMING

[2] IN ACCORDANCE TO THE TOWN OF LANCASTER ZONING BYLAW (§220-11) SETBACKS ARE MEASURED FROM THE STREET SIDELINE OR FROM THE STREET CENTERLINE. CENTER BRIDGE ROAD IS SHOWN AS AN ARTERIAL STREET ON THE TOWN OF LANCASTER OFFICIAL ZONING MAP, DATED 5/6/2013, AMENDED 5/5/2014 AND SHALL HAVE A FRONT YARD SETBACK OF 74 FEET. NECK ROAD IS SHOWN AS A MINOR ROAD ON THE SAME ZONING MAP AND SHALL HAVE A FRONT YARD SETBACK OF 55 FEET.

[3] BASED ON VISUAL OBSERVATION, EXISTING HOUSE HAS SINCE BEEN DEMOLISHED

[4] RELIEF REQUESTED

LOT SUMMARY

	SQUARE FOOTAGE	PERCENTAGE
BUILDING COVERAGE	6,445± SF	26%
PARKING AND OTHER PAVED VEHICULAR AREAS	8,945± SF	36%
SIDEWALK AREAS	2,570± SF	10%
OPEN SPACE/LANDSCAPED AREAS	6,783± SF	28%

PLAN INTENT

THE INTENT OF THIS PLAN IS TO SUPPORT A PEL APPLICATION FOR A PROPOSED RESIDENTIAL DEVELOPMENT AT 13 NECK ROAD IN LANCASTER, MA. THIS PLAN IS PRELIMINARY AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

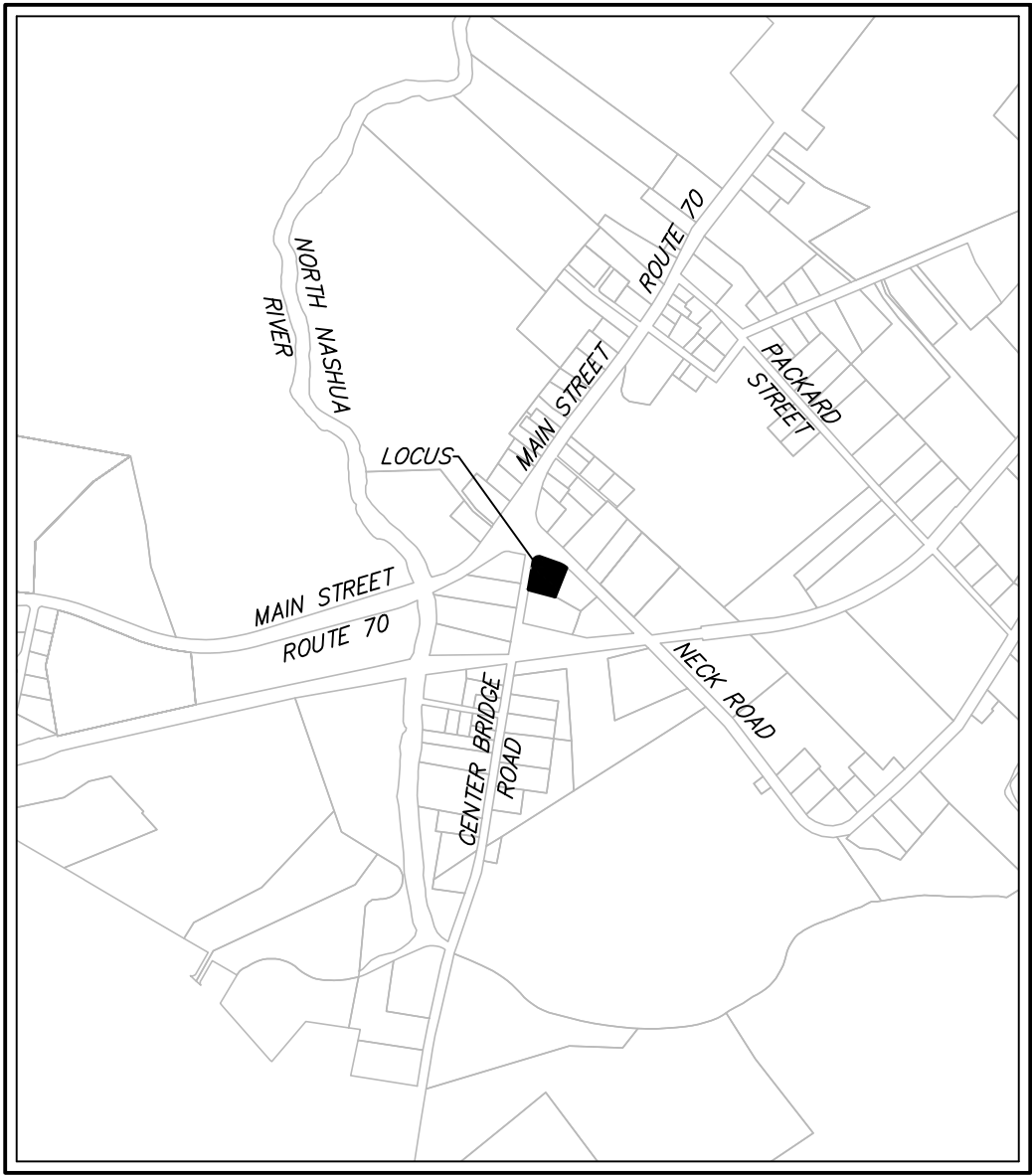
PERMIT SITE PLAN

NECK FARM

13 NECK FARM ROAD
LANCASTER, MASSACHUSETTS 01523

FOR

NECK FARM, LLC



LOCUS MAP

SCALE: 1"=1,000'

APPLICANT:

NECK FARM, LLC
66 WEST STREET, SUITE 1F
LEOMINSTER, MASSACHUSETTS 01453

WAIVER REQUESTS

- §220-8.1.D – SPECIAL PERMIT FOR MULTIFAMILY DWELLING OTHER THAN A LIVING FACILITY FOR SENIORS IN RESIDENTIAL DISTRICT
- §220-13.B – CORNER CLEARANCE
- §220-11.A – FRONT YARD SETBACK
- §220-22.C – SPACE PER CAR (20'x9' REQUIRED, 18'x9' PROVIDED)
- §220-38.1.C(2) – PARKING SETBACK TO RIGHT OF WAY (20' REQUIRED, 1.8' PROVIDED)

LEGEND

EXISTING

- DOMESTIC WELL
WATER SERVICE
SEWER LINE AND MANHOLE
SIZE MATERIAL & FLOW DIRECTION
DRAINLINE WITH PIPE SIZE, MATERIAL
& FLOW DIRECTION, CATCH BASIN
MANHOLE & ROUND CATCH BASIN
ROOF DRAIN AND DOWNSPOUT
PERFORATED UNDERDRAIN
FOUNDATION DRAIN
WATER MAIN AND VALVE
NATURAL GAS LINE AND VALVE
PROPERTY LINE
EASEMENT LINE
ELEVATION BENCH MARK
FENCE
STONE WALL
EDGE OF GRAVEL OR DIRT ROAD
EDGE OF PAVEMENT
CURB
SPOT ELEVATION
ELEVATION CONTOUR
EDGE OF WOODS OR BRUSH (DRIP LINE)
PROMINENT DECIDUOUS TREE
WITH ELEVATION, SIZE AND SPECIES
PROMINENT CONIFEROUS TREE
WITH ELEVATION, SIZE AND SPECIES
PIPE FLOW
TEST PIT
BUILDING, LIGHT, STEPS & OVERHANG
VERTICAL GRANITE CURB
WHEELCHAIR RAMP

PROPOSED

- WS
SS
CB
DMH
DS
UD
FD
W
G
W
G
X
X
VGC
F.G.
VGC
WCR

SHEET INDEX

- SHEET 1..... TITLE SHEET
- SHEET 2..... EXISTING CONDITIONS PLAN
- SHEET 3..... LAYOUT & MATERIALS PLAN
- SHEET 4..... GRADING, DRAINAGE, & UTILITIES PLAN
- SHEET 5..... LANDSCAPE PLAN

PROJECT NAME:

NECK
FARM

PROJECT ADDRESS:

13 Neck Road
Lancaster, Massachusetts 01523

PREPARED FOR:

Neck Farm, LLC

66 West Street, Ste 1F
Leominster, Massachusetts 01453

HANCOCK ASSOCIATES

Civil Engineers

Land Surveyors

Environmental
Consultants

34 CHILMSFORD STREET, CHELMSFORD, MA 01824
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1	RT	JP	11/15/22	REVISED LAYOUT
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

DATE: 6/24/22 DESIGN BY: RT
SCALE: AS SHOWN DRAWN BY: RT
CHECK BY: JP CHECK BY: BG

TITLE SHEET

DWG: 24939-eng.dwg

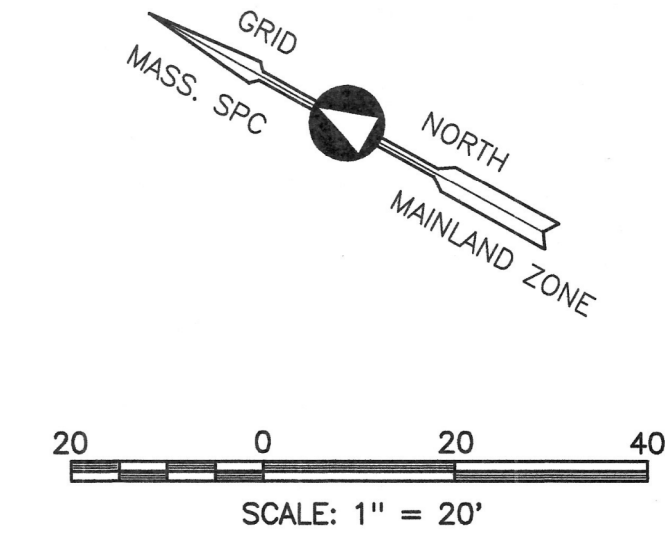
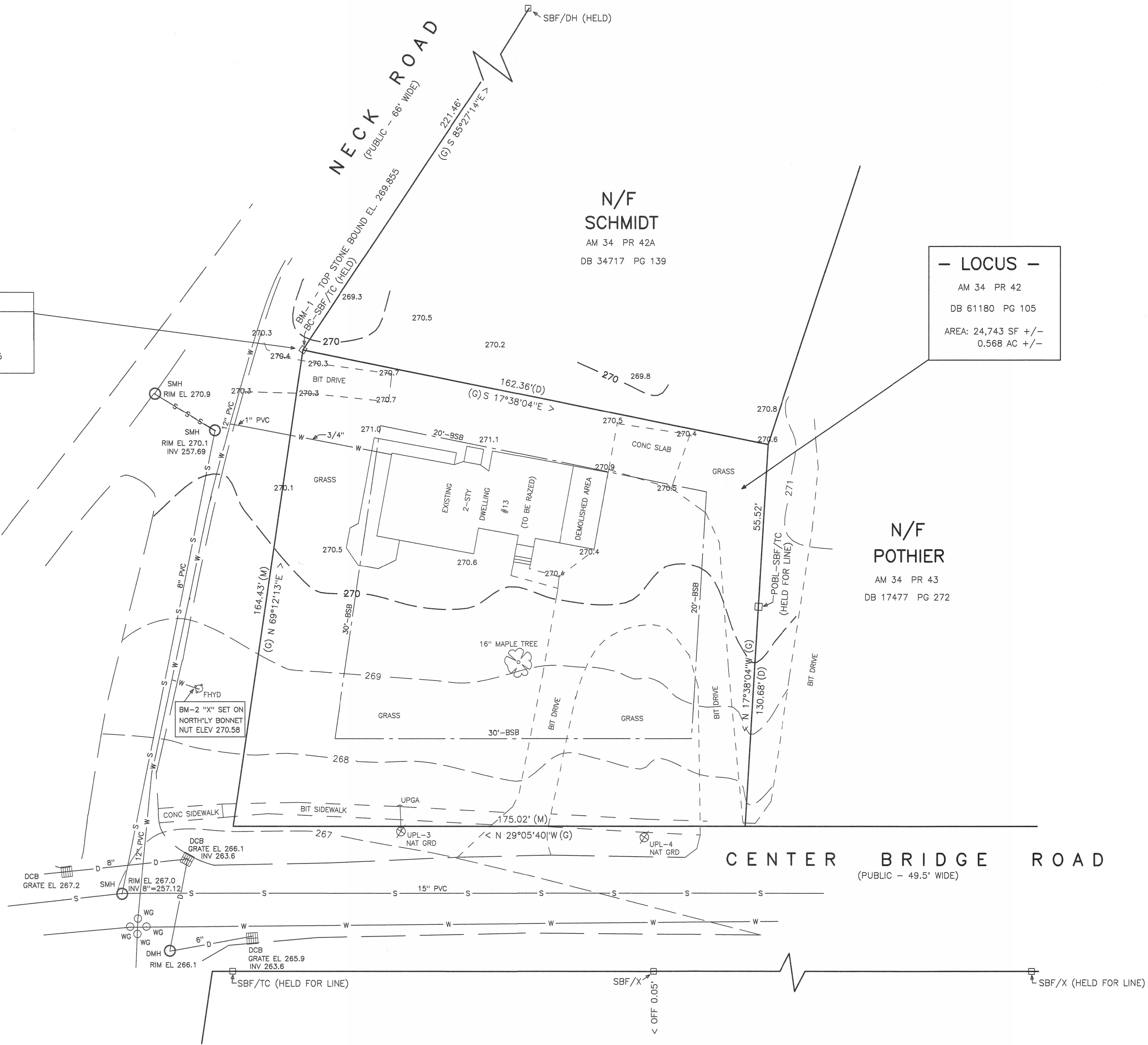
LAYOUT: TS

SHEET: 1 OF 5

JOB NO.: 24939

1

PROJECT INDEX POINT		
MASS. STATE PLANE COORDINATES		
POINT	NORTHING	EASTING
1000 (SBF/TC)	2,990,077.846	609,751.675

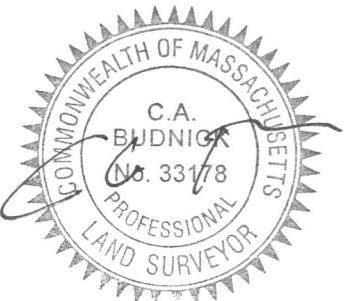


— LEGEND —

- AC DENOTES: ACRES
AM DENOTES: TAX ASSESSOR MAP
BC DENOTES: BOUNDARY CORNER
BIT DENOTES: BITUMINOUS
BSB DENOTES: BUILDING SETBACK LINE
CONC DENOTES: CONCRETE
(D) DENOTES: A DEED DISTANCE
DB DENOTES: A DEED BOOK
DCB DENOTES: A DRAIN CATCH BASIN
DH DENOTES: DRILL HOLE
DI DENOTES: DUCTILE IRON
DMH DENOTES: DRAIN MAN HOLE
EL DENOTES: ELEVATION
FHYD DENOTES: FIRE HYDRANT
(G) DENOTES: MASS SPC GRID BEARING
INV DENOTES: INVERT ELEVATION
(M) DENOTES: A MEASURED DISTANCE
N/F DENOTES: NOW OR FORMERLY
PG DENOTES: PAGE
POBL DENOTES: POINT ON BOUNDARY LINE
PR DENOTES: TAX ASSESSOR PARCEL NUMBER
PVC DENOTES: POLYVINYL CHLORIDE
SBF DENOTES: STONE BOUND FOUND
SF DENOTES: SQUARE FEET
SPC DENOTES: STATE PLANE COORDINATES
SMH DENOTES: SEWER MAN HOLE
STY DENOTES: STORY
TC DENOTES: TOP CENTER
UPGA DENOTES: UTILITY POLE GUY ANCHOR
UPL DENOTES: UTILITY POLE
-D- DENOTES: DRAIN LINE
-S- DENOTES: SEWER LINE
-W- DENOTES: WATER LINE
-267- DENOTES: CONTOUR LINE
270.2 DENOTES: GROUND SPOT ELEVATION

— NOTES —

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Project:	EXISTING CONDITIONS SURVEY 13 NECK ROAD LANCASTER, MA		
Prepared For:	BAYSTATE INVESTOR GROUP		
 CABCO CONSULT LAND AND ENVIRONMENTAL CONSULTING SERVICES			
P.O. BOX 14 CLINTON, MA 01510		TEL. 800-675-1591 FAX. 978-365-7419	
Scale:	1" = 20'	Date:	11/02/20
P.D. No.:	2002201210	File No.:	WOR147.20
Sheet	1	of	1

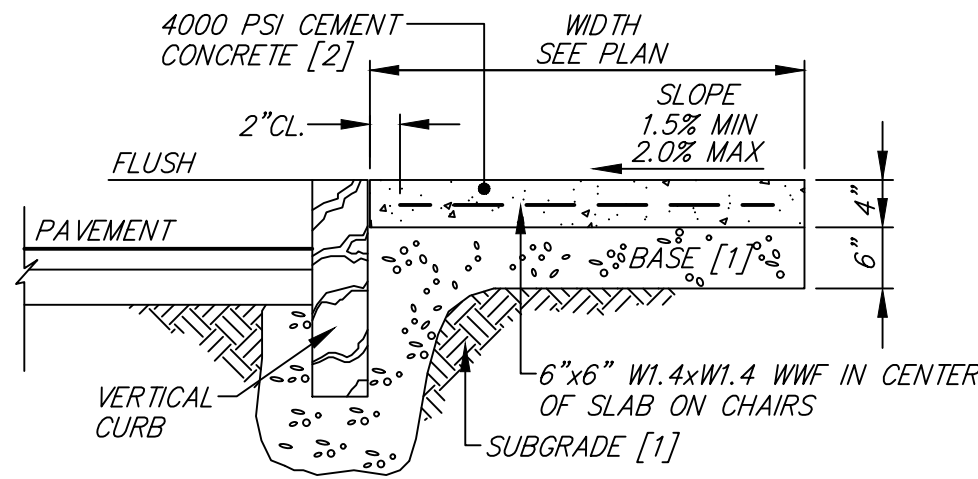
PARKING REQUIREMENTS

REQUIRED: THE TOWN OF LANCASTER DOES NOT PROVIDE MINIMUM PARKING SPACE REQUIREMENTS THAT ACCURATELY DESCRIBE THE PROPOSED PROJECT. THE REQUIRED PARKING SHALL BE DETERMINED BY THE PLANNING BOARD.

PROVIDED: 21 SPACES (19 STANDARD, 2 HANDICAP)
PARKING RATIO: 1.9 SPACES/DWELLING UNIT

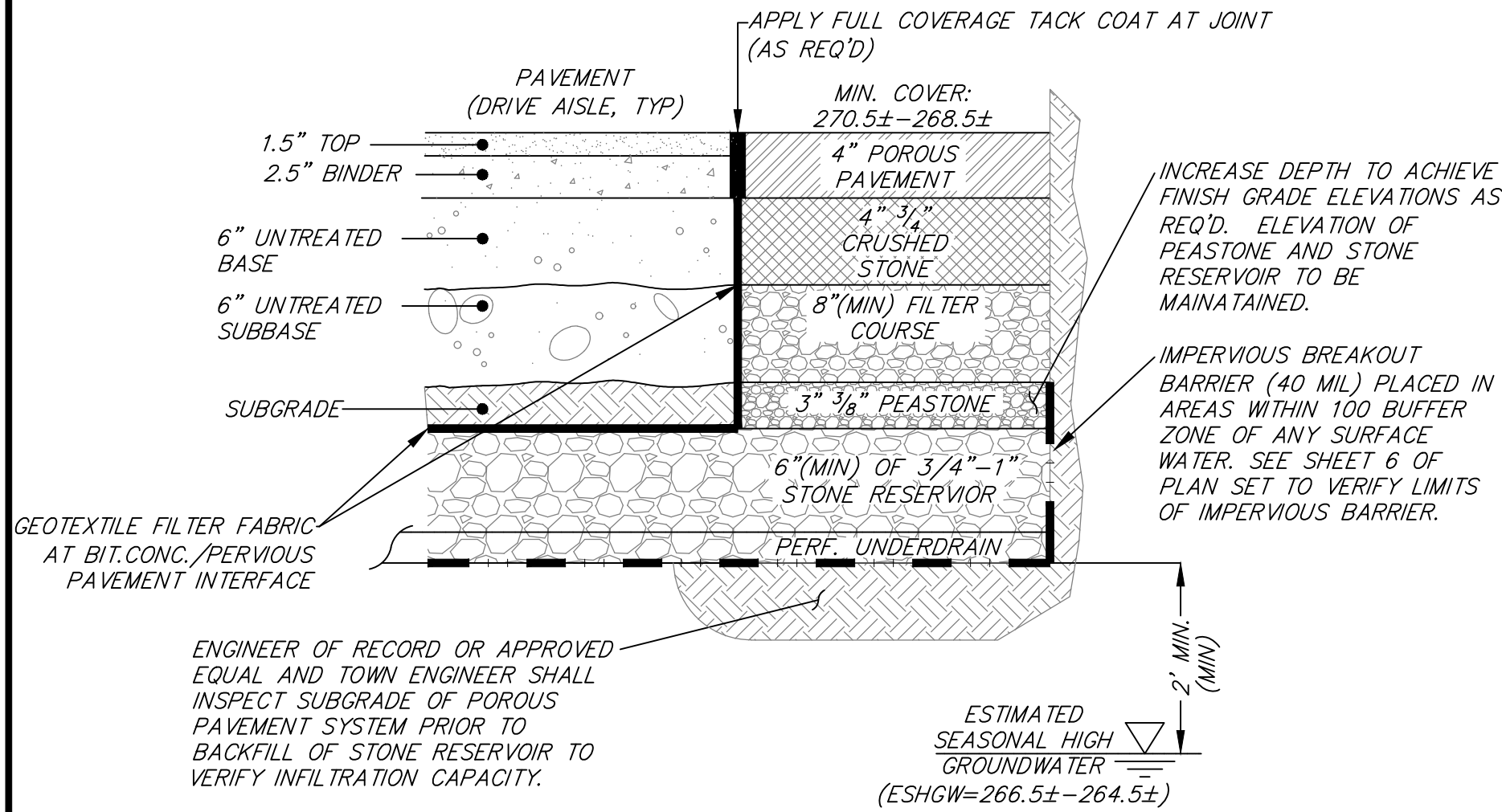
UNIT BREAKDOWN

	TOTAL	MARKET	AFFORDABLE
ONE BEDROOM	3	2	1
TWO BEDROOM	5	4	1
THREE BEDROOM	1	0	1
TOTAL	9	6	3

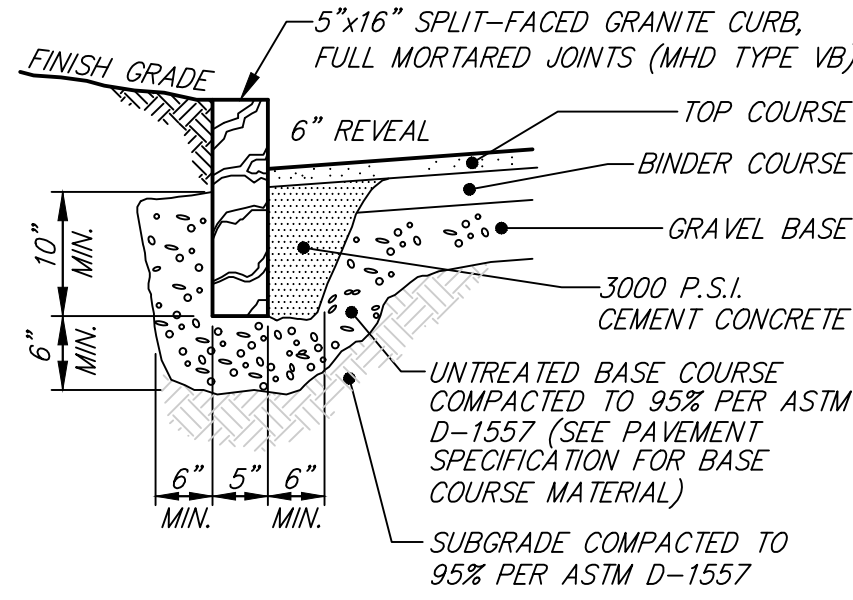


NOTES:
[1] COMPACT TO 95% PER ASTM D-1557
[2] CONTROL JOINT EVERY 5 LF, EXPANSION JOINT EVERY 50 LF.

CEMENT CONCRETE WALK
CROSS SECTION
NOT TO SCALE



CONSTRUCTION DETAIL POROUS PAVEMENT
TYPICAL CROSS SECTION



VERTICAL GRANITE CURB
CROSS SECTION
NOT TO SCALE

COURSE THICKNESS

1 1/2" TOP
2 1/2" BINDER
6" UNTREATED BASE
6" UNTREATED SUBBASE
SUBGRADE

APPLY FULL COVERAGE TACK COAT AT JOINT

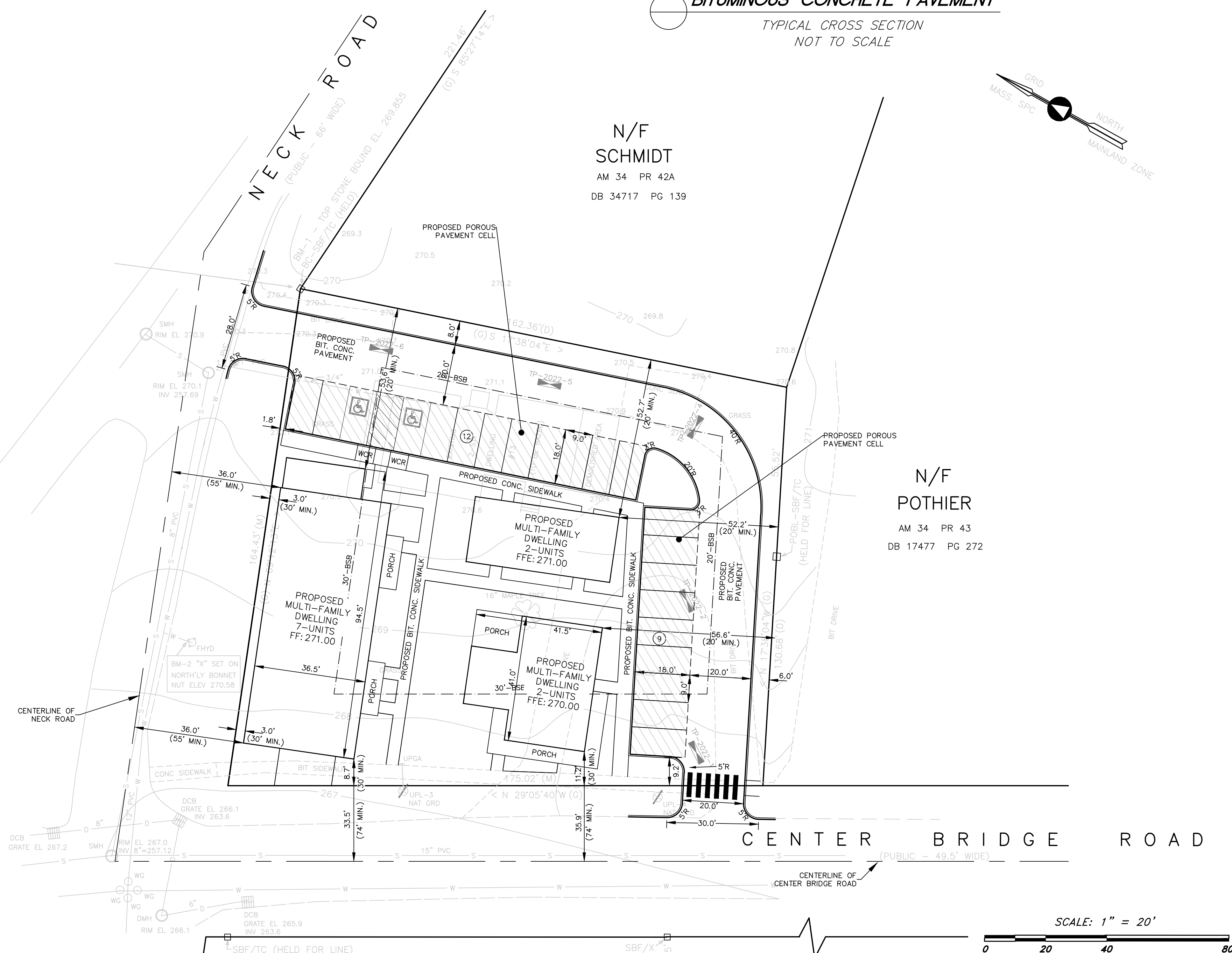
COMPACTION REQUIREMENT

TEST PER AASHTO T166. SEE NOTE [1]
TEST PER AASHTO T166. SEE NOTE [1]
95% TEST PER ASTM D-1557
95% TEST PER ASTM D-1557
95% TEST PER ASTM D-1557

NOTES:
[1] COMPACT TO TEST AVERAGE OF 96%, NO TEST LOWER THAN 94%

MATERIAL	SPECIFICATION	MAXIMUM AGGREGATE OR PARTICLE SIZE (IN.)
TOP - BITUMINOUS CONCRETE	MHD M3.11.03 CLASS I, TYPE I-1	1/2
BINDER- BITUMINOUS CONCRETE	MHD M3.11.03 CLASS I, TYPE I-1	1
BASE - GRAVEL BORROW	MHD M1.03.0 TYPE C	2
SUBBASE - GRAVEL BORROW	MHD M1.03.0 TYPE C	2
UNSUITABLE SUBGRADE - ORDINARY BORROW	MHD M1.01.0	12

BITUMINOUS CONCRETE PAVEMENT
TYPICAL CROSS SECTION
NOT TO SCALE



PROJECT NAME:

NECK
FARM

PROJECT ADDRESS:

13 Neck Road
Lancaster, Massachusetts 01523

PREPARED FOR:

Neck Farm, LLC

66 West Street, Ste 1F
Leominster, Massachusetts 01453

HANCOCK
ASSOCIATES

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1	RT	JP	11/15/22	REVISED LAYOUT
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
DATE:	6/24/22	DESIGN BY:	RT	
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CHECK BY:	JP	CHECK BY:	BG	

LAYOUT AND
MATERIALS PLAN

DWG: 24939-eng.dwg

LAYOUT: LM

SHEET: 3 OF 5

JOB NO.: 24939

3

SOIL TESTING DATA

DATE: 1/6/2022
EVALUATOR: RUSSELL TEDFORD- SE#14379
TP-2022-1
0-18" Ap SL TOP SOIL
18-33" Bw SL
33-64" C S MEDIUM SAND
REDOX 40", ESHGW 40", NO REFUSAL

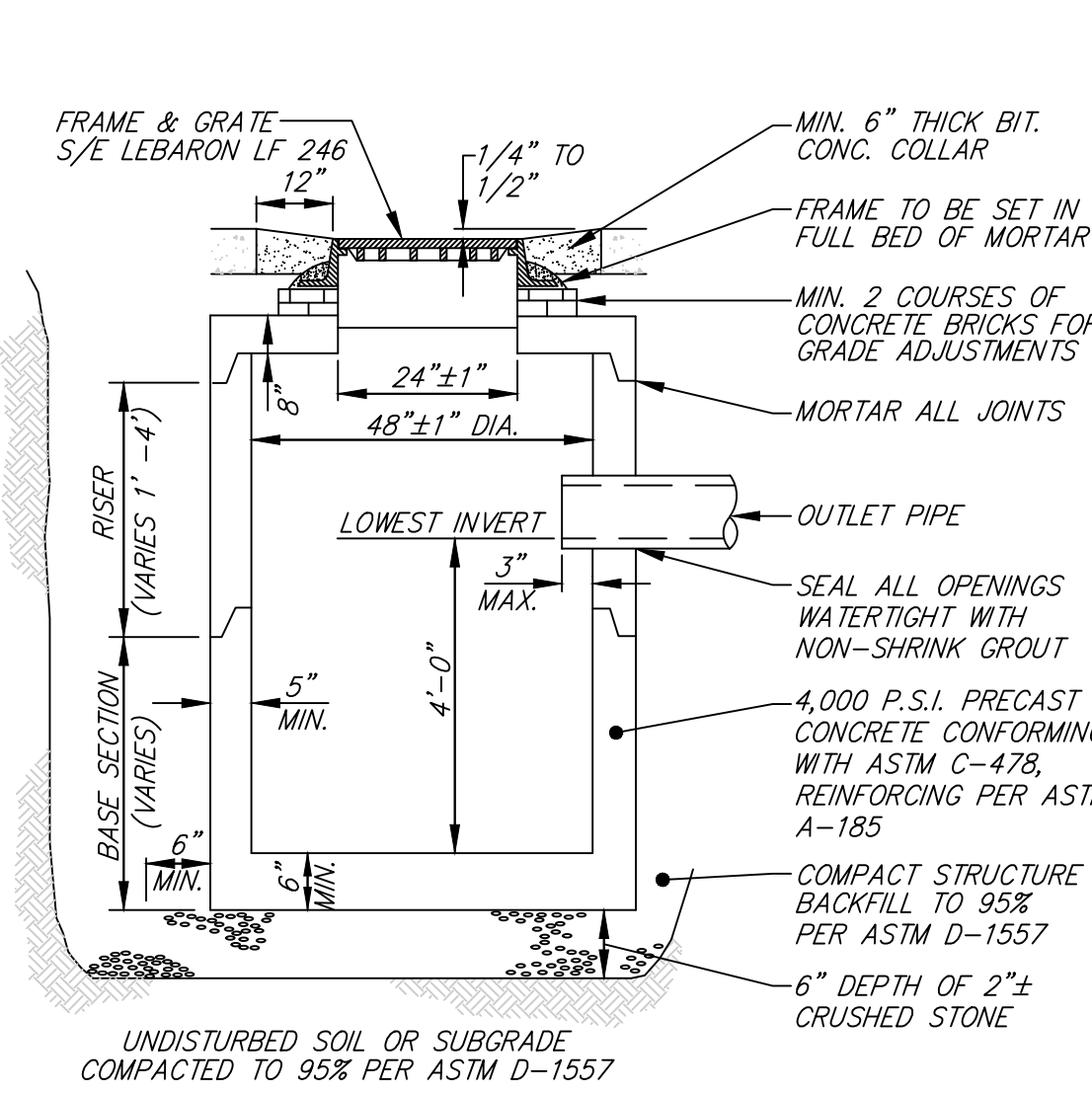
TP-2022-2
0-19" FILL DRIVEWAY SUBBASE
19-29" Bw SL
29-60" C S MEDIUM SAND
REDOX 40", ESHGW 40", NO REFUSAL

TP-2022-3
0-24" FILL SL
24-36" Bw SL GRAVEL 0-5%
36-58" C S MEDIUM SAND
REDOX 38", ESHGW 38", NO REFUSAL

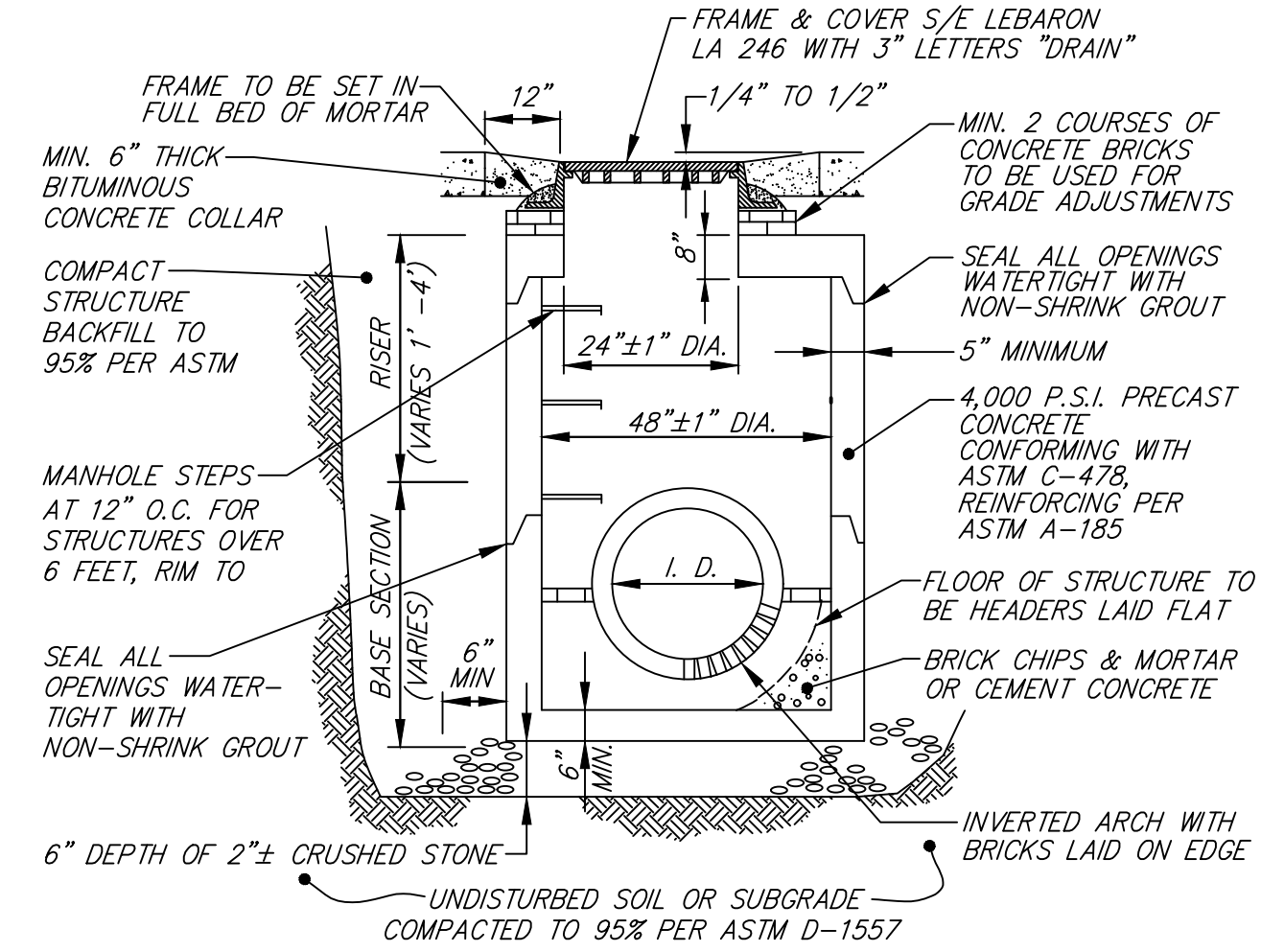
TP-2022-4
0-36" FILL CONSTRUCTION DEBRIS
36-60" C SL STONE & COBBLES 0-5%
GRAVEL 0-5%
NO REDOX, NO REFUSAL, BOULDERS 60"

TP-2022-5
0-12" FILL SL CONSTRUCTION DEBRIS
12-24" Ab SL
24-36" Bw SL
36-64" C SL STONE & COBBLES 0-5%
GRAVEL 0-5%
REDOX 36", ESHGW 36", NO REFUSAL

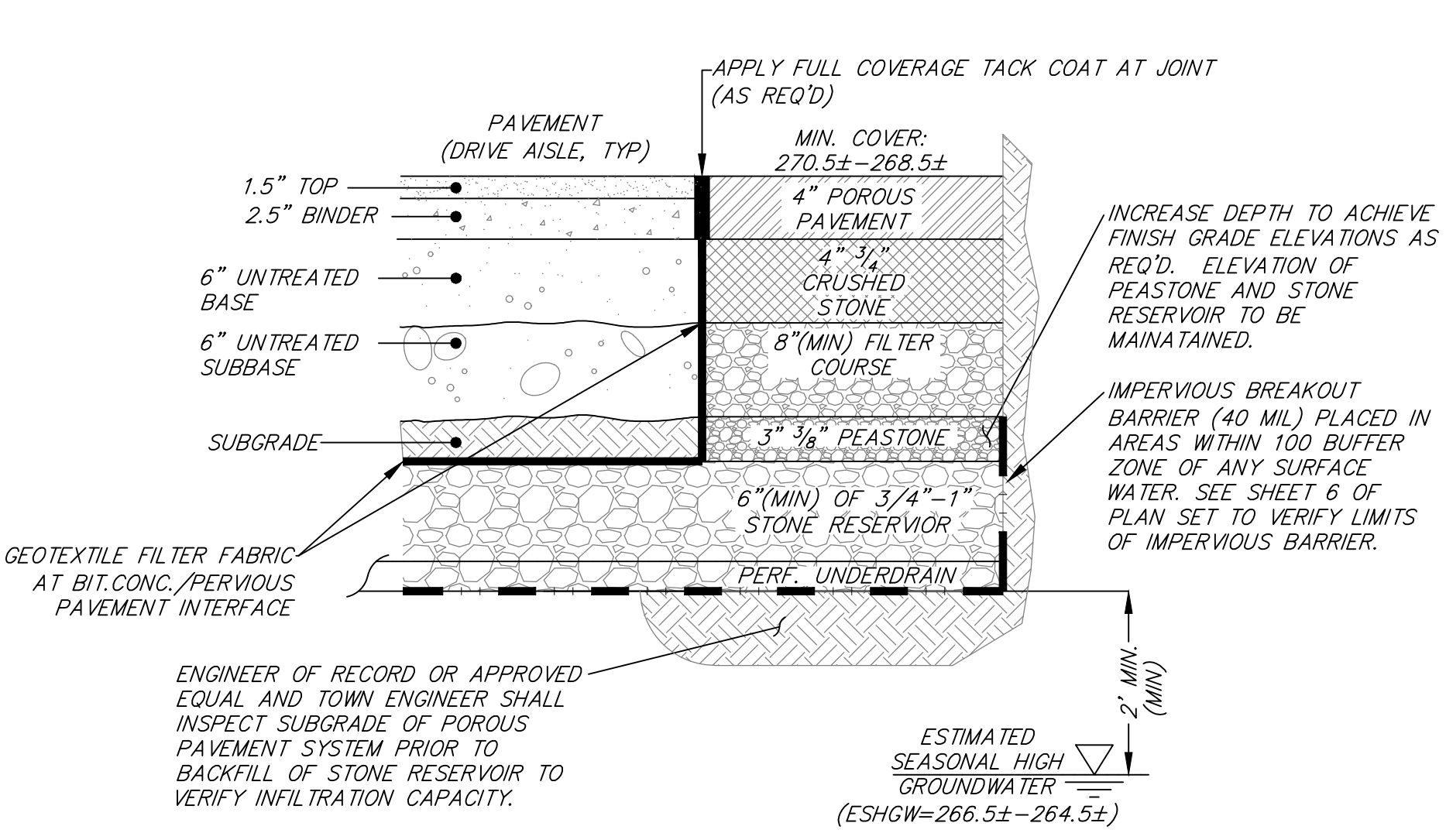
TP-2022-6
0-24" Ap SL
24-36" Bw SL
36-66" C SL STONE & COBBLES 0-5%
GRAVEL 0-5%
REDOX 39", ESHGW 39", NO REFUSAL



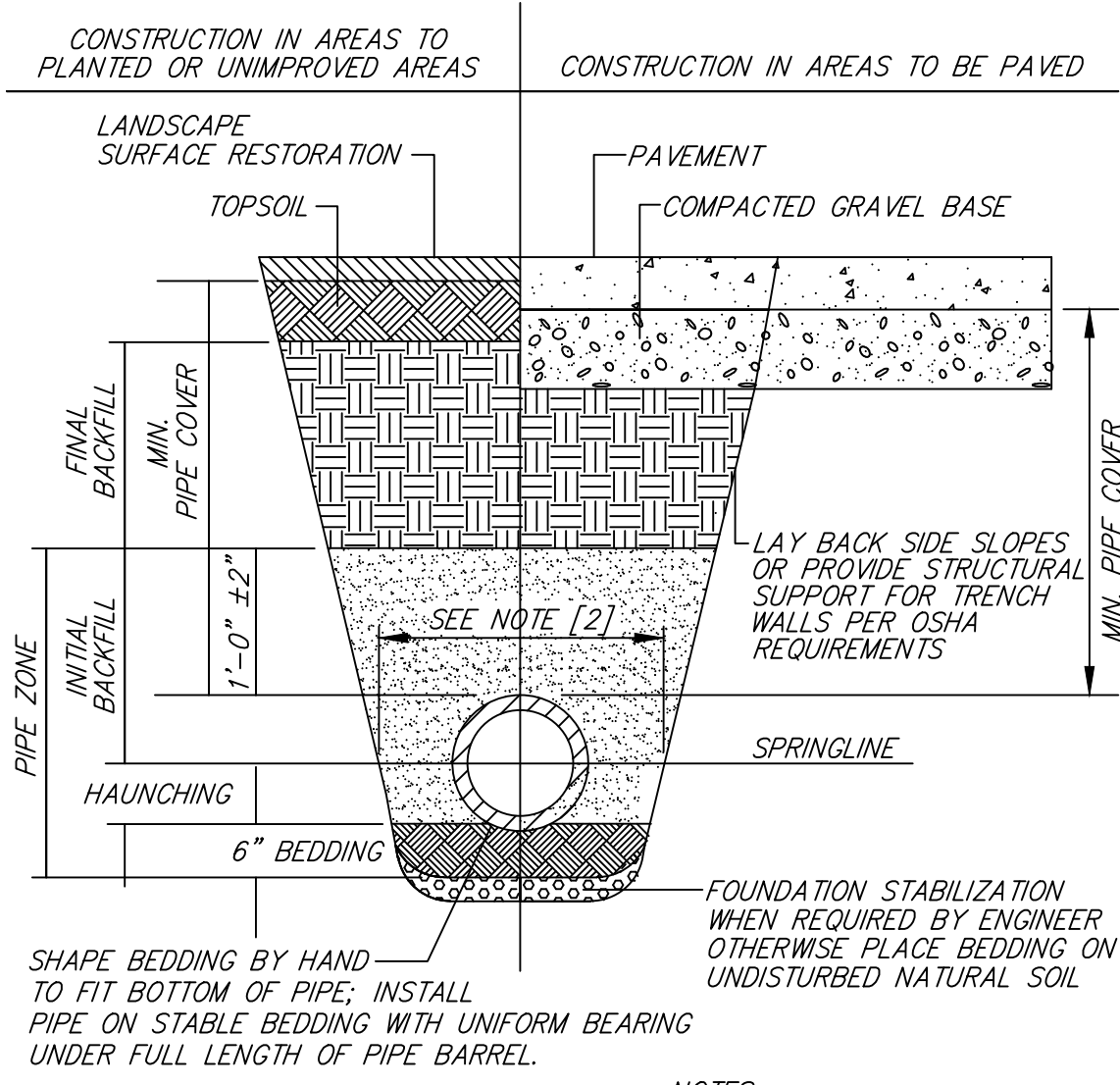
CATCH BASIN
TYPICAL CROSS SECTION
NOT TO SCALE



DRAIN MANHOLE
TYPICAL CROSS SECTION
NOT TO SCALE



CONSTRUCTION DETAIL POROUS PAVEMENT
TYPICAL CROSS SECTION



NOTES:

[1] PLACE 3/4"± GRADED GRANULAR BACKFILL AT OPTIMUM MOISTURE IN HORIZONTAL, 8"-DEEP, LOOSE LAYERS; COMPACT TO 95% PER ASTM D-1557.

[2] MINIMUM WIDTH OF TRENCH MEASURED AT THE SPRINGLINE OF THE PIPE, INCLUDING ANY NECESSARY SHEATHING:

PIPE I.D.	WIDTH
LESS THAN 21"	O.D. + 12"
21" TO 42"	O.D. + 24"
GREATER THAN 42"	O.D. + 30"

[3] INSTALL PIPE IN CENTER OF TRENCH.

[4] IN PLANTED OR UNIMPROVED AREAS, USE ON-SITE EXCAVATED MATERIAL FOR FINAL BACKFILL. COMPACT TO 95% PER ASTM D-1557. IN PAVED AREAS, OBTAIN ENGINEER APPROVAL OF ON-SITE EXCAVATED MATERIALS FOR USE AS FINAL BACKFILL.

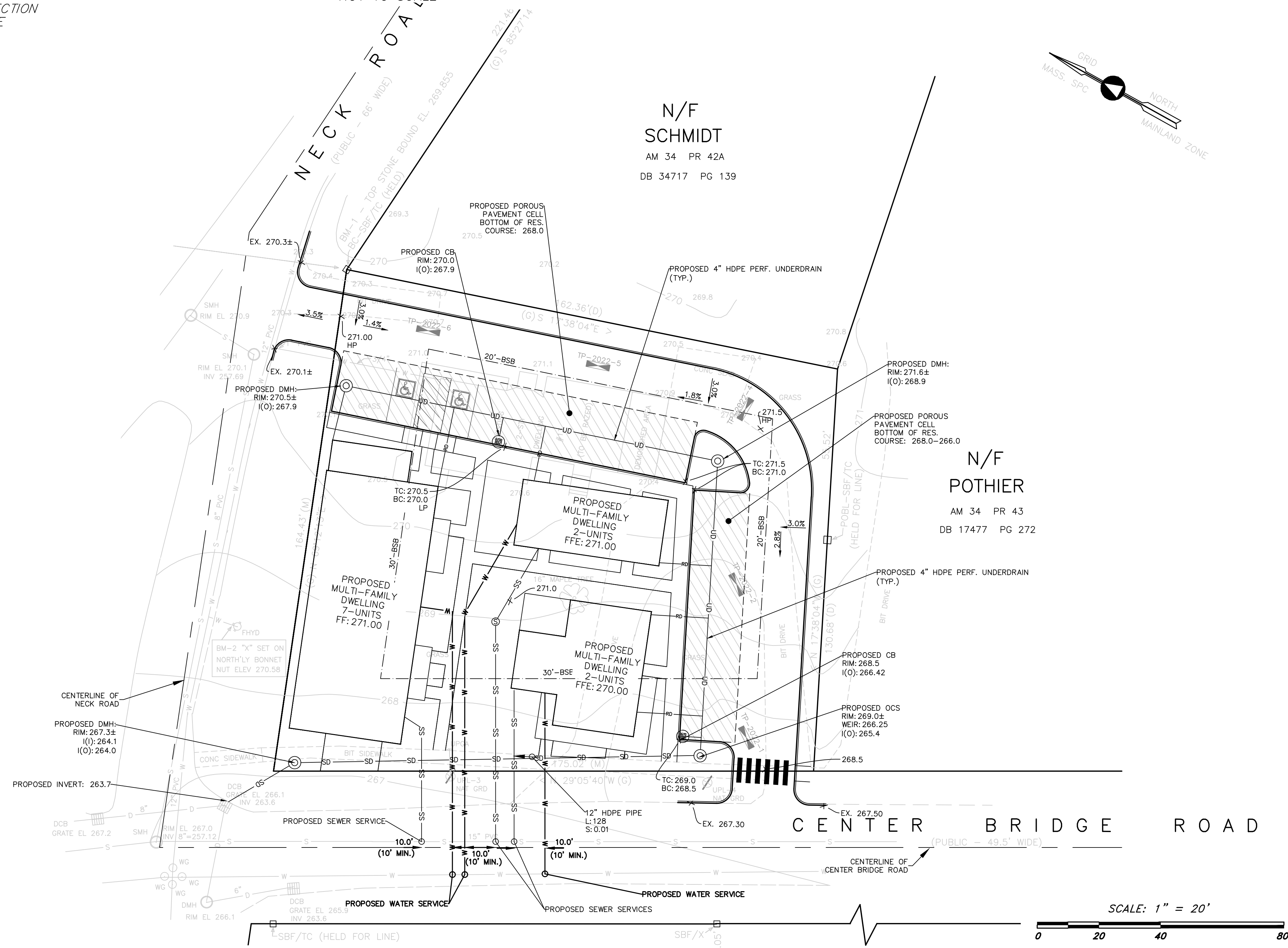
[5] MINIMUM COVER OVER TOP OF PIPE:

PIPE MATERIAL	HDP, PVC	RC, DI
WATER	5'-0"	5'-0"
SEWER	4'-0"	4'-0"
DRAIN	1'-6"	1'-0"

[6] FOR FOUNDATION STABILIZATION, USE 2"± CRUSHED STONE.

PIPE MATERIAL	HDP, PVC	RC, DI
WATER	5'-0"	5'-0"
SEWER	4'-0"	4'-0"
DRAIN	1'-6"	1'-0"

PIPE TRENCH
TYPICAL CROSS SECTION
NOT TO SCALE



PROJECT NAME:

NECK FARM

PROJECT ADDRESS:

13 Neck Road

Lancaster, Massachusetts 01523

PREPARED FOR:

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66 West Street, Ste 1F
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NO.	BY	APP	DATE	ISSUE/REVISION	DESCRIPTION
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DATE: 6/24/22 DESIGN BY: RT
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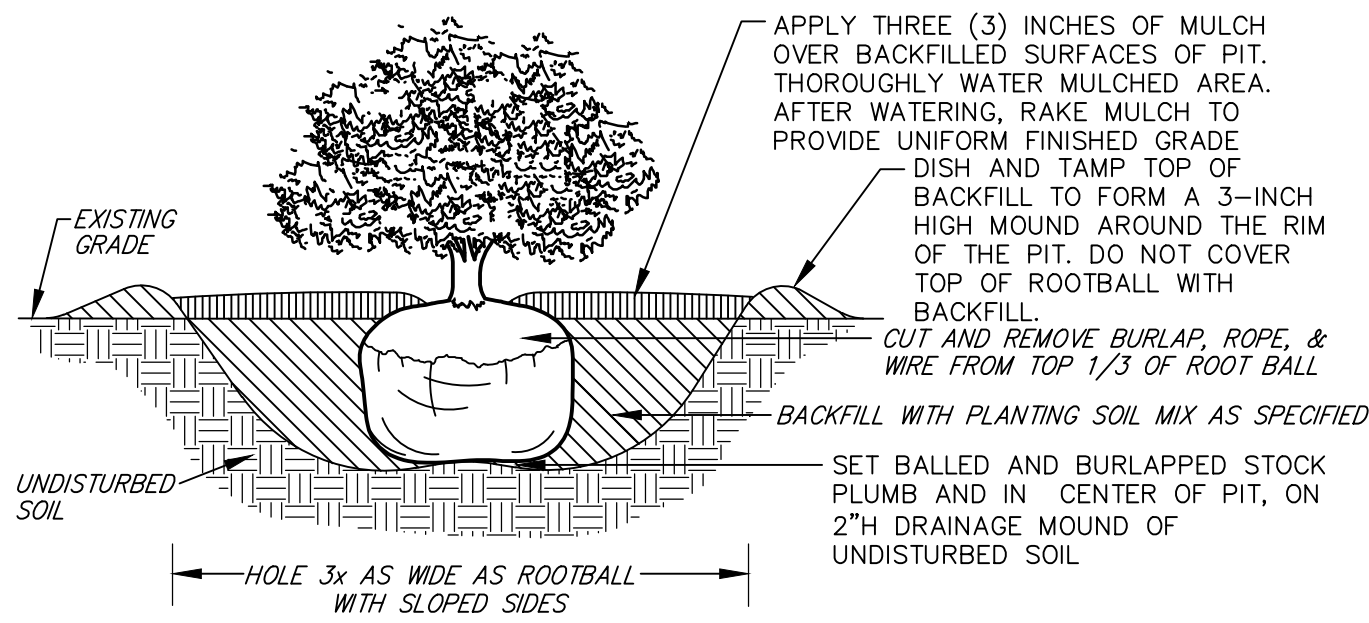
GRADING, DRAINAGE, AND UTILITIES PLAN

DWG: 24939-eng.dwg
LAYOUT: GDU
SHEET: 4 OF 5
JOB NO.: 24939

4

LANDSCAPING NOTE:

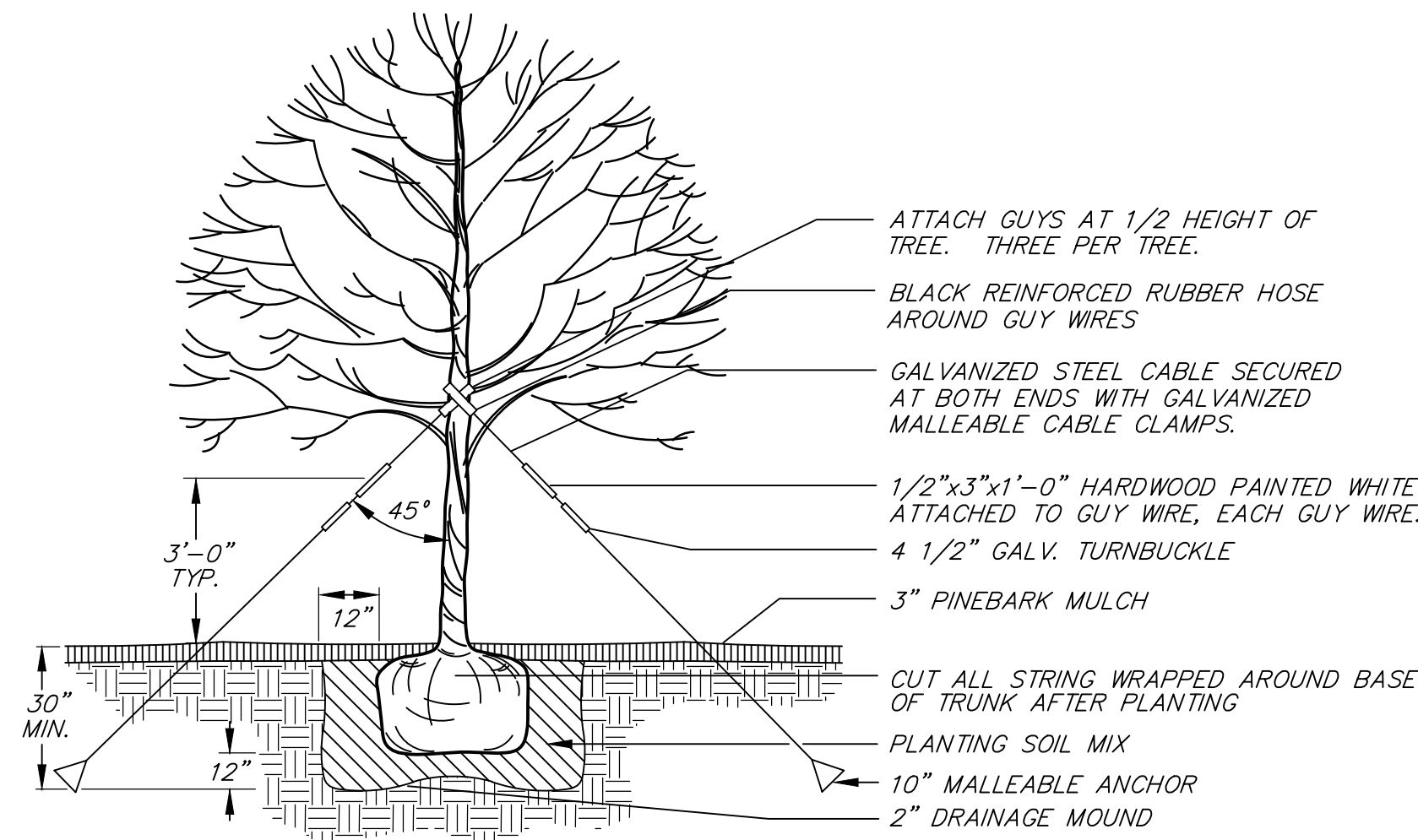
1. THE INTENT OF THIS PLAN IS TO SCHEMATICALLY SHOW THE PROPOSED LANDSCAPE PLANTINGS PER APPLICATION. FINAL LANDSCAPE PLANS TO BE COORDINATED PRIOR TO CONSTRUCTION AND SHALL BE APPROVED BY THE TOWN.



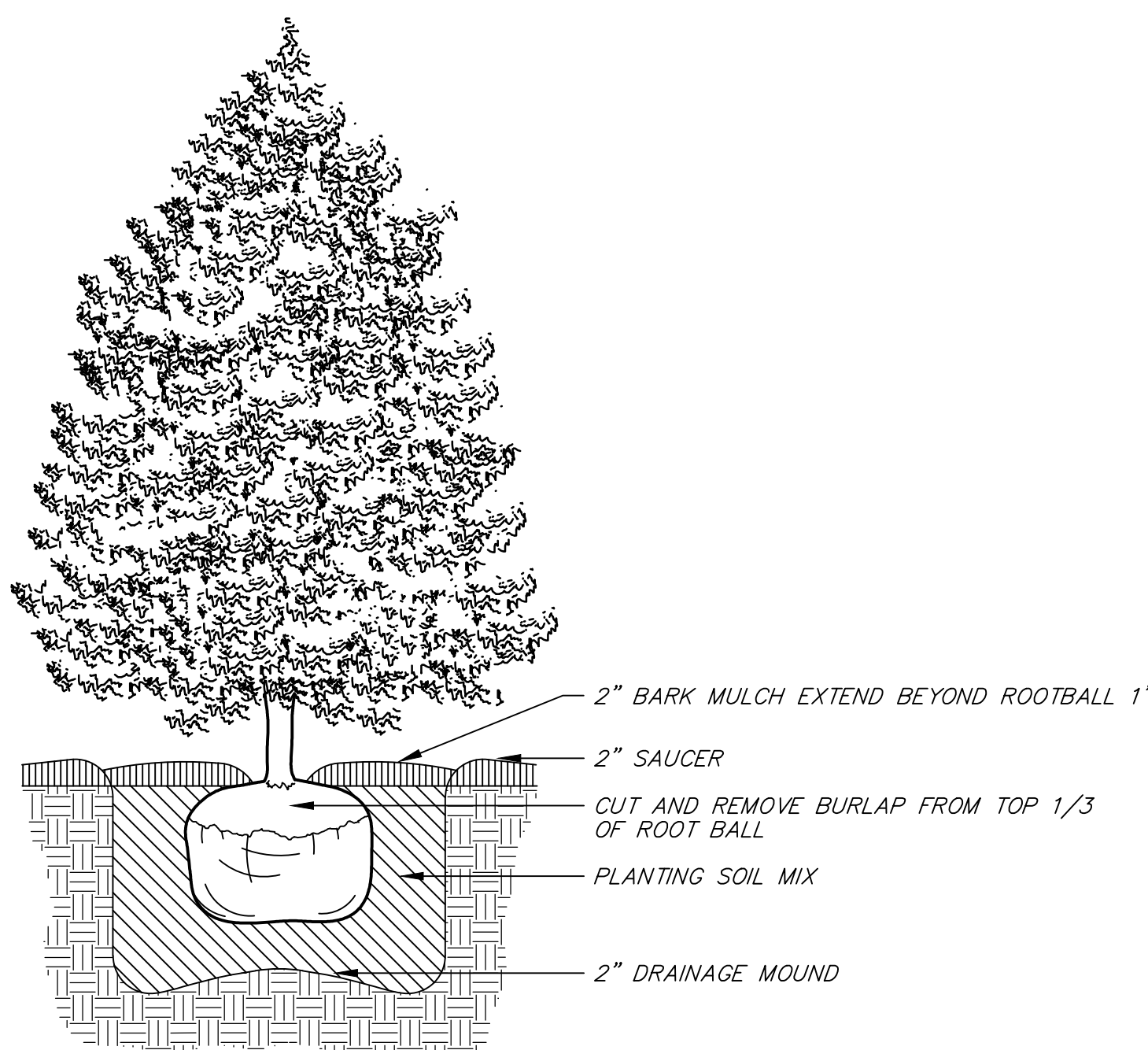
TYPICAL SHRUB PLANTING DETAIL NOTES:

1. PLANT SO THAT TOP OF ROOTBALL IS 1-2" ABOVE SURROUNDING GRADE.
2. MULCH SHALL NOT BE PILED AGAINST THE TRUNK OR STEMS OF SHRUB UNDER ANY CIRCUMSTANCES. MULCH LAYER SHOULD TAPER DOWN TOWARD TRUNK AS INDICATED.
3. DO NOT USE PLANTING STOCK IF ROOTBALL IS CRACKED OR BROKEN BEFORE OR DURING PLANTING PROCESS.
4. PLACE BACKFILL AROUND ROOTBALL IN LAYERS, TAMPING TO SETTLE BACKFILL AND ELIMINATE VOIDS AND AIR POCKETS. WHEN PIT IS APPROX. 1/2 BACKFILLED, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE IS ABSORBED. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER OF BACKFILL.

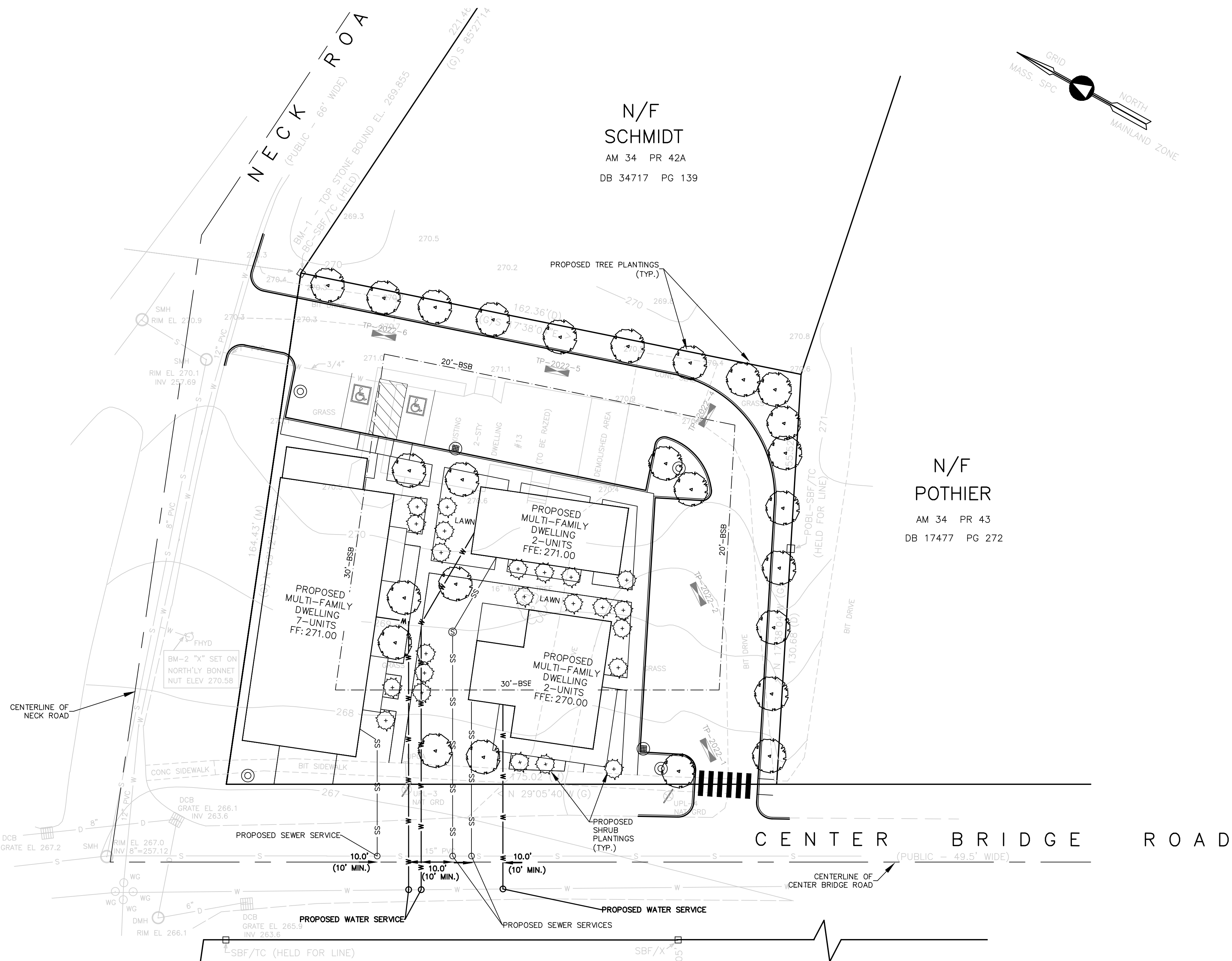
TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE



TREE GUYING DETAIL
NOT TO SCALE



EVERGREEN TREE PLANTING
NOT TO SCALE



SCALE: 1" = 20'

PROJECT NAME:

NECK
FARM

PROJECT ADDRESS:

13 Neck Road
Lancaster, Massachusetts 01523

PREPARED FOR:

Neck Farm, LLC

66 West Street, Ste 1F
Leominster, Massachusetts 01453

HANCOCK
ASSOCIATES

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Land Surveyors

Environmental
Consultants

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1	RT	JP	11/15/22	REVISED LAYOUT
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

DATE: 6/24/22 DESIGN BY: RT
SCALE: AS SHOWN DRAWN BY: RT
CHECK BY: JP CHECK BY: BG

LANDSCAPING
PLAN

DWG: 24939-eng.dwg

LAYOUT: LAND

SHEET: 5 OF 5

JOB NO.: 24939

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