

SITE DEVELOPMENT PLAN OF LAND

"GOODRIDGE BROOK ESTATES"

Multi Unit & Single Family Subdivision Layout

LANCASTER, MASSACHUSETTS

DATE: FEBRUARY 8, 2018

Revised: April 10, 2018

July 6, 2018; July 25, 2018; Sept. 18, 2018;
Dec. 27, 2018; Feb. 13, 2019; Nov. 6, 2018
Feb. 19, 2019; Mar. 7, 2019; May 15, 2019

OWNER REFERENCE:

GLADY C KILBOURN
PO BOX 275
SO LANCASTER, MA

DEED REFERENCE:

REGISTRY OF DEEDS
BOOK 2922, PAGE 341

TOWN OF LANCASTER ASSESSOR'S REFERENCE

MAP 41, LOT 34B

PLAN REFERENCE:

WORCESTER COUNTY REGISTRY
1) PLAN BOOK 466, PLAN No. 69
2) PLAN BOOK 422, PLAN No. 76
3) PLAN BOOK 539, PLAN No. 80
4) PLAN BOOK 763, PLAN No. 63

ZONING TABLE

CLASSIFICATION: RESIDENTIAL

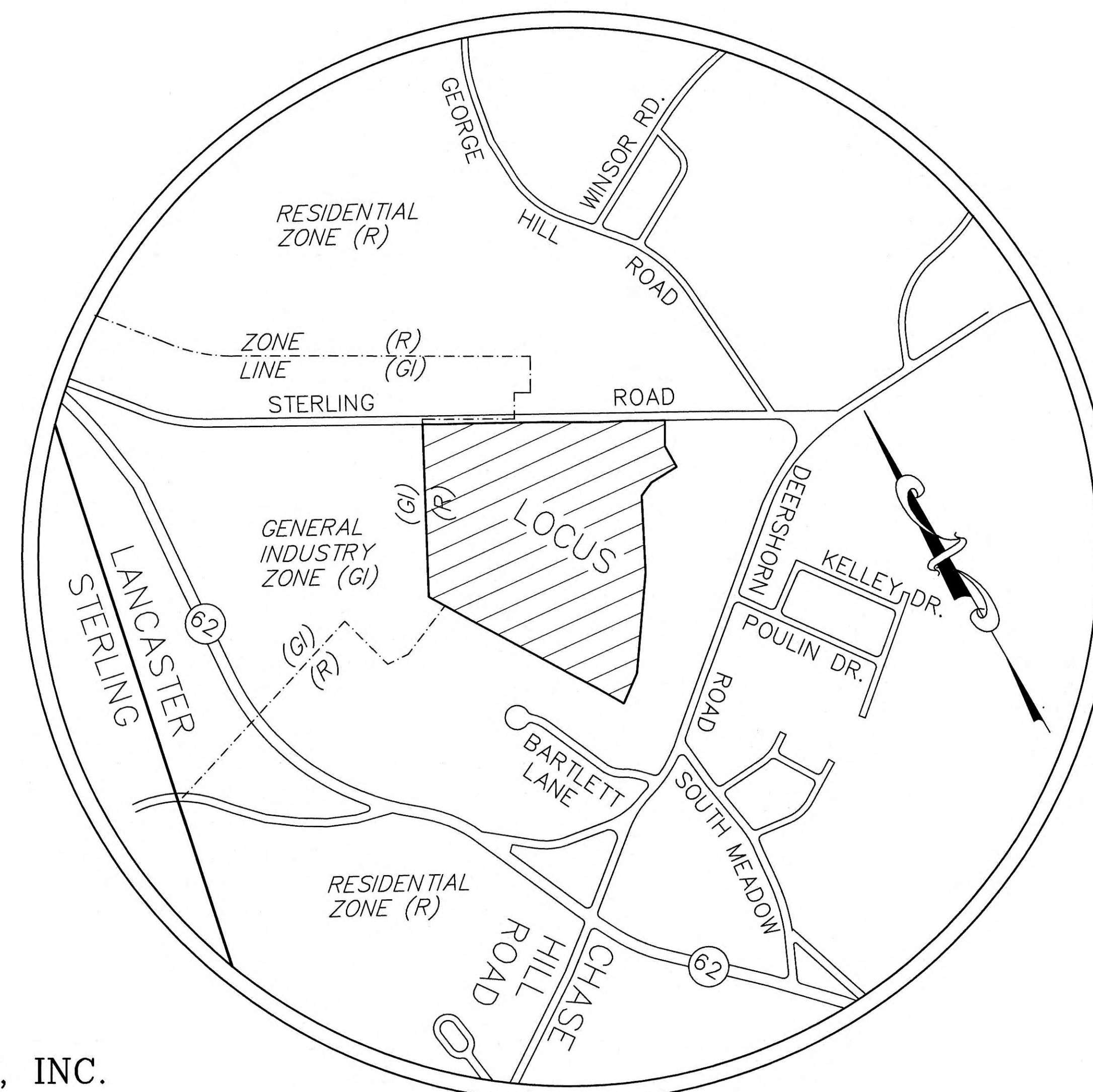
SUBDIVISION SCHEDULE:

	REQUIRED	PROPOSED
LOT AREA:	2.0 Acres	8,000 s.f. (Min)
FRONTAGE:	225 Feet	50 Feet (Min)
SETBACKS:		
FRONT:	74 Feet (Arterial) 60 Feet (Collector) 55 Feet (Minor)	20 Feet (Min)
SIDE:	20 Feet	10 Feet (Min)
REAR:	20 Feet	20 Feet (Min)

NOTE:

THE ON-SITE DRAINAGE SYSTEM IS SUBJECT TO A
"STORMWATER MANAGEMENT OPERATION AND MAINTENANCE PLAN"
FOR: GOODRIDGE BROOK ESTATES
DATED: JULY 6, 2018; REVISED THRU MAY 15, 2019.

PREPARED BY:
GLM ENGINEERING
CONSULTANTS, INC.
19 EXCHANGE STREET
HOLLISTON, MASSACHUSETTS 01746
(508)429-1100 fax:(508)429-7160



LOCUS MAP
1" = 600'

PROJECT SUMMARY:
56 SINGLE FAMILY HOUSE LOTS
96 APARTMENT STYLE UNITS
152 TOTAL PROPOSED UNITS

PROJECT DENSITY:

LOT B1
TOTAL LOT AREA:
833,833 ± S.F. (19.14 ± AC)
Uplands Area: 427,585 S.F.
Wetland Area: 406,248 S.F.

LOT B2
TOTAL LOT AREA:
1,144,579 ± S.F. (26.25 ± AC)
Uplands Area: 976,958 S.F.
Wetland Area: 167,621 S.F.

SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER
2	PROJECT OVERVIEW
3	EXISTING CONDITIONS
4	MULTI-UNIT LAYOUT
5	MULTI-UNIT LAYOUT
6	MULTI-UNIT GRADING & UTILITIES
7	MULTI-UNIT GRADING & UTILITIES
8	LOT LAYOUT (1 OF 4)
9	LOT LAYOUT (2 OF 4)
10	LOT LAYOUT (3 OF 4)
11	LOT LAYOUT (4 OF 4)
12	SINGLE FAMILY-LAYOUT & GRADING
13	SINGLE FAMILY-LAYOUT & GRADING
14	SINGLE FAMILY-LAYOUT & GRADING
15	PLAN & PROFILE ROAD A
16	PLAN & PROFILE ROAD A
17	PLAN & PROFILE ROAD B
18	PLAN & PROFILE ROAD C
19	PLAN & PROFILE STERLING ROAD
20	EROSION CONTROL DETAILS
21	DETAILS STREET
22	DETAILS DRAIN
23	DETAILS DRAIN
24	DETAILS SEWER
25	DETAILS WATER
26	CDS TREATMENT UNIT DETAIL
27	SOIL LOGS
SUP-A1	SIGHT DISTANCE
SUP-A2	SIGHT DISTANCE
SUP-A3	POTENTIAL VERNAL POOL BUFFERS
L1	LANDSCAPE PLAN
L2	LANDSCAPE PLAN



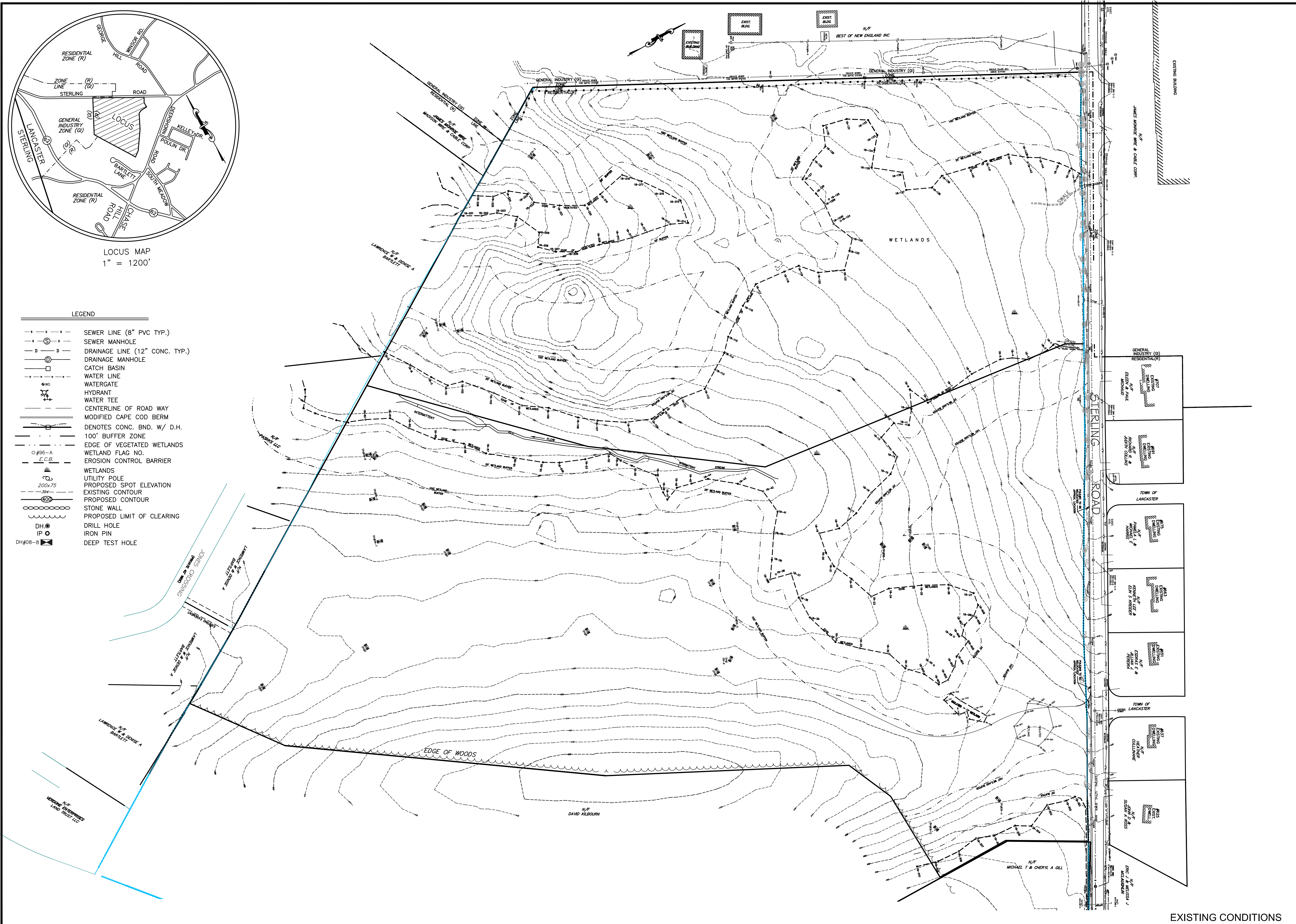
5/15/19
DATE



DATE

PREPARED FOR:
CRESENT BUILDERS, INC.
94 NORTH MAIN STREET
BOYLSTON, MA 01583

DATE: FEBRUARY 8, 2018
SHEET: 1 of 27
PLAN #: 27,147



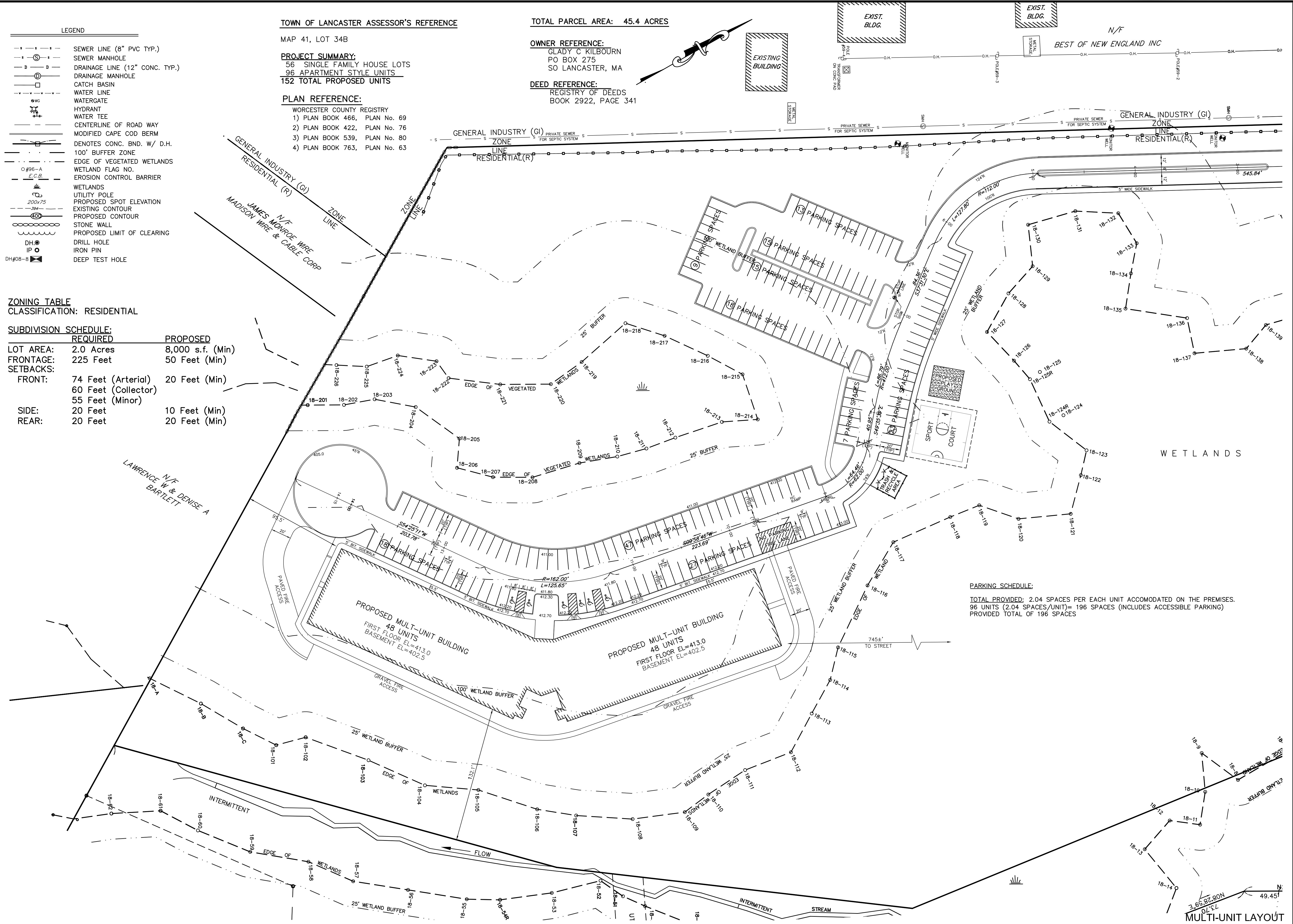
REVISIONS		10	4/12/19	MULTI UNIT LAYOUT
REVISIONS		11	5/15/19	MULTI UNIT LAYOUT
1	04/10/18	APARTMENTS 136 UNITS		
2	07/06/18	PLAN LAYOUT & DRAINAGE		
3	07/25/18	WATER SYSTEM COMMENTS		
4	09/18/18	ENGINEERING COMMENTS		
5	11/06/18	ENGINEERING COMMENTS		
6	12/27/18	ENGINEERING COMMENTS		
7	2/13/19	FIRE ACCESS		
8	2/19/19	COMMENTS & LANDSCAPE		
9	3/07/19	COMMENTS & LANDSCAPE		

SITE DEVELOPMENT PLAN
"GOODRIDGE BROOK ESTATES"
Multi Unit & Single Family Subdivision Layout
LANCASTER, MASSACHUSETTS

PREPARED FOR:
CRESCENT BUILDERS, INC.
94 NORTH MAIN STREET
BOYLSTON MA 01583

GLM Engineering Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100
F: 508-429-7160
www.GLMengineering.com

DRW.: RST
JOB No. 12,274-DUPLEX
DATE: OCTOBER 4, 2017
SCALE: 1"= 80'
SHEET: 3 of 27
PLAN #: 27,147



REVISIONS		REVISIONS	
1	2	3	4
04/10/18	07/06/18	07/25/18	09/18/18
APARTMENTS 136 UNITS	PLAN LAYOUT & DRAINAGE	WATER SYSTEM COMMENTS	ENGINEERING COMMENTS
10	11	12/27/18	2/13/19
MULTI UNIT LAYOUT	MULTI UNIT LAYOUT	ENGINEERING COMMENTS	ENGINEERING COMMENTS
		2/19/19	3/07/19
		COMMENTS & LANDSCAPE	COMMENTS & LANDSCAPE

SITE DEVELOPMENT PLAN

"GOODRIDGE BROOK ESTATES"

Multi Unit & Single Family Subdivision Layout

LANCASTER, MASSACHUSETTS

PREPARED FOR:

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94 NORTH MAIN STREET

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GLM

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P: 508-429-1100

F: 508-429-7160

www.GLMengineering.com

DRW.: RST

JOB No. 12,274

DATE: FEBRUARY 8, 2018

SCALE: 1"= 40'

SHEET: 4 of 27

PLAN #: 27,147

ZONING TABLE
CLASSIFICATION: RESIDENTIAL

SUBDIVISION SCHEDULE:		
	REQUIRED	PROPOSED
LOT AREA:	2.0 Acres	8,000 s.f. (Min)
FRONTAGE:	225 Feet	50 Feet (Min)
SETBACKS:		
FRONT:	74 Feet (Arterial) 60 Feet (Collector) 55 Feet (Minor)	20 Feet (Min)
SIDE:	20 Feet	10 Feet (Min)
REAR:	20 Feet	20 Feet (Min)

TOTAL PARCEL AREA: 45.4 ACRES

PROJECT SUMMARY:
56 SINGLE FAMILY HOUSE LOTS
96 APARTMENT STYLE UNITS
152 TOTAL PROPOSED UNITS

OWNER REFERENCE:
GLADY C KILBOURN
PO BOX 275
SO LANCASTER, MA

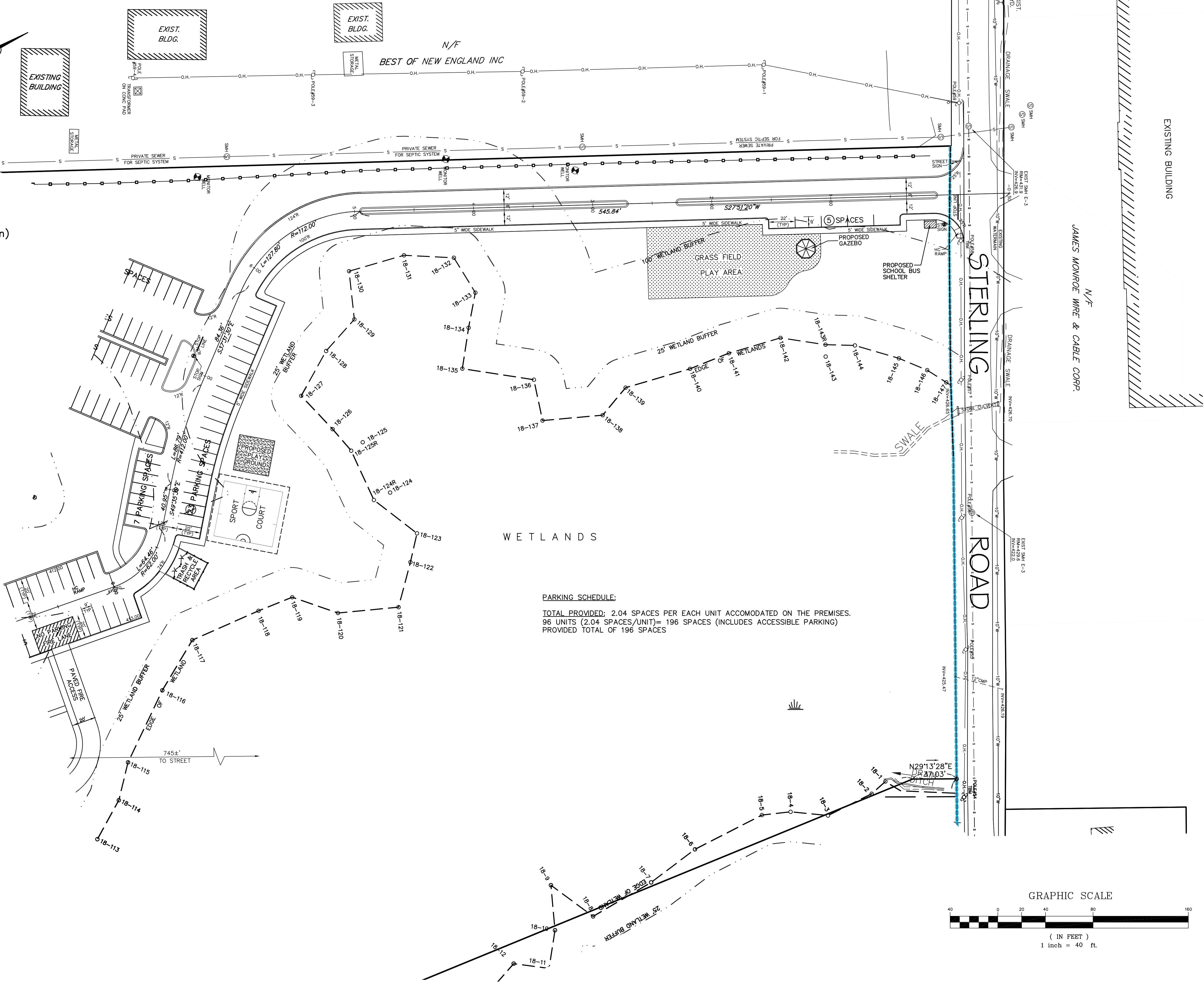
DEED REFERENCE:
REGISTRY OF DEEDS
BOOK 2922, PAGE 341

TOWN OF LANCASTER ASSESSOR'S REFERENCE

MAY 41, LOT 34B

PLAN REFERENCE:
WORCESTER COUNTY REGISTRY
1) PLAN BOOK 466, PLAN No. 69
2) PLAN BOOK 422, PLAN No. 76
3) PLAN BOOK 539, PLAN No. 80
4) PLAN BOOK 763, PLAN No. 63

LEGEND	
	SEWER LINE (8" PVC TYP.)
	SEWER MANHOLE
	DRAINAGE LINE (12" CONC. TYP.)
	DRAINAGE MANHOLE
	CATCH BASIN
	WATER LINE
	WATERGATE
	HYDRANT
	WATER TEE
	CENTERLINE OF ROAD WAY
	MODIFIED CAPE COD BERM
	DENOTES CONC. BND. W/ D.H.
	100' BUFFER ZONE
	EDGE OF VEGETATED WETLANDS
	WETLAND FLAG NO.
	EROSION CONTROL BARRIER
	WETLANDS
	UTILITY POLE
	PROPOSED SPOT ELEVATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	STONE WALL
	PROPOSED LIMIT OF CLEARING
	DRILL HOLE
	IRON PIN
	DEEP TEST HOLE



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DRW.: RST	
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SHEET:	5 of 27
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REVISIONS		REVISIONS	
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SIDE:	20 Feet	10 Feet (Min)
REAR:	20 Feet	20 Feet (Min)

LEGEND

- SEWER LINE (8" PVC TYP.)
- SEWER MANHOLE
- DRAINAGE LINE (12" CONC. TYP.)
- DRAINAGE MANHOLE
- CATCH BASIN
- WATER LINE
- WATERGATE
- HYDRANT
- WATER TEE
- CENTERLINE OF ROAD WAY
- MODIFIED CAPE COD BERM
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- DEEP TEST HOLE

TOTAL PARCEL AREA: 45.4 ACRES

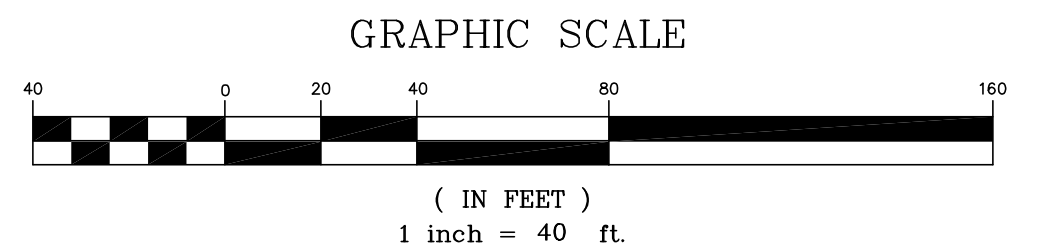
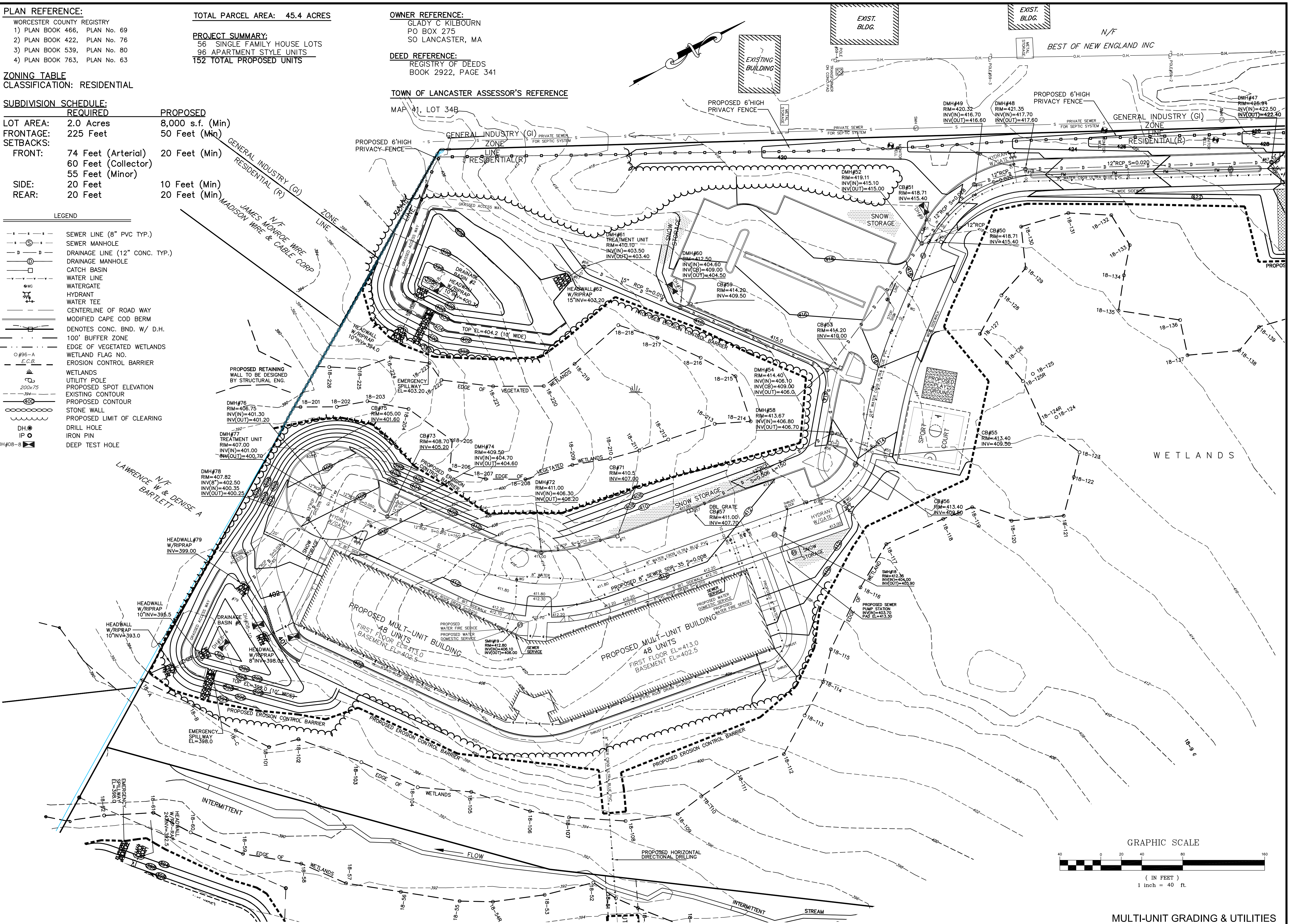
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REGISTRY OF DEEDS
BOOK 2922, PAGE 341

TOWN OF LANCASTER ASSESSOR'S REFERENCE

MAP #1, LOT 34B



MULTI-UNIT GRADING & UTILITIES

REVISIONS		MULTI-UNIT LAYOUT	
NO.	DATE	DESCRIPTION	BY
1	04/10/18	APARTMENTS 136 UNITS	
2	07/06/18	PLAN LAYOUT & DRAINAGE	
3	07/25/18	WATER SYSTEM COMMENTS	
4	09/18/18	ENGINEERING COMMENTS	
5	11/06/18	ENGINEERING COMMENTS	
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DRW.: RST	
JOB No.	12,274
DATE:	FEBRUARY 8, 2018
SCALE:	1" = 40'
SHEET:	6 of 27
PLAN #:	27,147

ZONING TABLE
CLASSIFICATION: RESIDENTIAL

SUBDIVISION	SCHEDULE: REQUIRED	PROPOSED
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	WETLANDS
	UTILITY POLE
	PROPOSED SPOT ELEVATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	STONE WALL
	PROPOSED LIMIT OF CLEARING
	DRILL HOLE
	IRON PIN
	DEEP TEST HOLE



SITE DEVELOPMENT PLAN
"GOODRIDGE BROOK ESTATES"
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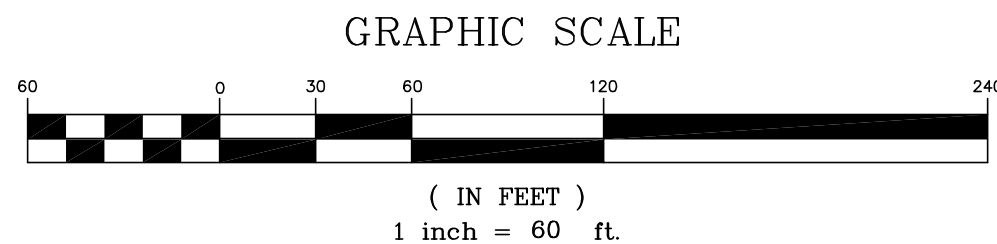
DRW.: RST	
JOB No.	12,274
DATE:	FEBRUARY 8, 2018
SCALE:	1"= 40'
SHEET:	7 of 27
PLAN #:	27,147

REVISIONS		REVISIONS	REVISIONS
1	04/10/18	APARTMENTS 136 UNITS	
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10	4/12/19	MULTI UNIT LAYOUT	
11	5/15/19	MULTI UNIT LAYOUT	



DATE _____

DATE : _____



DATE _____

 GLM Engineering Consultants, Inc. 19 EXCHANGE STREET HOLLISTON, MA 01746 P: 508-429-1100 F: 508-429-7160 www.GLMengineering.com SITE DEVELOPMENT PLAN "GOODRIDGE BROOK ESTATES" Multi Unit & Single Family Subdivision Layout LANCASTER, MASSACHUSETTS PREPARED FOR: CRESCENT BUILDERS, INC. 94 NORTH MAIN STREET BOYLSTON MA 01583			<table><tr><th colspan="3">REVISIONS</th></tr><tr><td>1</td><td>04/10/18</td><td>APARTMENTS 136 UNITS</td></tr><tr><td>2</td><td>07/06/18</td><td>PLAN LAYOUT & DRAINAGE</td></tr><tr><td>3</td><td>07/25/18</td><td>WATER SYSTEM COMMENTS</td></tr><tr><td>4</td><td>09/18/18</td><td>ENGINEERING COMMENTS</td></tr><tr><td>5</td><td>11/06/18</td><td>ENGINEERING COMMENTS</td></tr><tr><td>6</td><td>12/27/18</td><td>ENGINEERING COMMENTS</td></tr><tr><td>7</td><td>2/13/19</td><td>FIRE ACCESS</td></tr><tr><td>8</td><td>2/19/19</td><td>COMMENTS & LANDSCAPE</td></tr><tr><td>9</td><td>3/07/19</td><td>COMMENTS & LANDSCAPE</td></tr></table>			REVISIONS			1	04/10/18	APARTMENTS 136 UNITS	2	07/06/18	PLAN LAYOUT & DRAINAGE	3	07/25/18	WATER SYSTEM COMMENTS	4	09/18/18	ENGINEERING COMMENTS	5	11/06/18	ENGINEERING COMMENTS	6	12/27/18	ENGINEERING COMMENTS	7	2/13/19	FIRE ACCESS	8	2/19/19	COMMENTS & LANDSCAPE	9	3/07/19	COMMENTS & LANDSCAPE	<table><tr><th colspan="3">REVISIONS</th></tr><tr><td>10</td><td>4/12/19</td><td>MULTI UNIT LAYOUT</td></tr><tr><td>11</td><td>5/15/19</td><td>MULTI UNIT LAYOUT</td></tr></table>			REVISIONS			10	4/12/19	MULTI UNIT LAYOUT	11	5/15/19	MULTI UNIT LAYOUT
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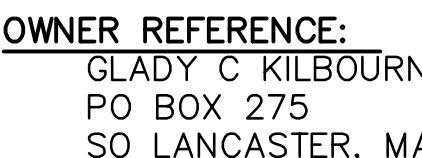
TOWN CLERK

DATE _____

DATE .

N/F
ERIC J & MELISSA J
MCLAUGHLIN

STERLING (PUBLIC VARIABLE WIDTH) ROAD



DEED REFERENCE:
REGISTRY OF DEEDS
 BOOK 2922, PAGE 341

TOWN OF LANCASTER
ASSESSOR'S REFERENCE
MAP 41, LOT 34B

DENOTES IRON ROD TO BE SET
DENOTES CONCRETE BOUND TO BE SET

LOT SHAPE CALCULATION TABLE:

Lot	Perimeter	Area	Lot Shape	Lot	Perimeter	Area	Lot Shape
1	405.06	10241	16.02	32	389.46	9193	16.50
2	406.85	10058	16.46	33	407.63	9419	17.64
3	372.84	8057	17.25	34	501.79	15122	16.65
4	373.45	8255	16.85	35	458.45	12386	16.97
5	411.89	10093	16.80	36	421.04	10595	16.73
6	392.93	8040	19.20	37	410.00	10350	16.24
7	384.15	8826	16.76	38	417.93	10219	17.09
8	395.60	8200	19.09	39	411.05	10915	15.48
9	440.00	11200	17.29	40	386.26	9542	15.63
10	440.00	11200	17.29	41	375.36	8297	16.98
11	440.00	11200	17.29	42	401.48	10465	15.40
12	436.79	12589	16.80	43	403.11	8919	18.23
13	440.00	11200	17.29	44	385.69	8757	16.99
14	440.00	11200	17.29	45	378.14	9331	15.32
15	440.00	11200	17.29	46	451.65	11390	19.00
16	440.00	11200	17.29	47	370.00	8400	16.30
17	440.00	11200	17.29	48	370.00	8400	16.30
18	440.00	11200	17.29	49	369.36	8395	16.65
19	413.75	9294	18.42	50	427.04	10114	18.03
20	407.67	10122	17.70	51	373.00	10260	16.46
21	566.50	19994	16.05	52	408.47	10275	16.23
22	438.69	10956	18.16	53	370.00	8400	16.30
23	482.81	13728	16.98	54	370.00	8400	16.30
24	461.75	13553	15.73	55	370.00	8400	16.30
25	433.81	9988	18.84	56	420.21	10779	16.38
26	396.76	9233	17.05				
27	375.26	8566	16.44				
28	370.17	8400	16.31				
29	370.00	8400	16.30				
30	370.00	8400	16.30				
31	370.00	8400	16.30				

PARCEL A
410,192 ±S.F.
9.42 ±ACRES

ZONING TABLE
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SUBDIVISION SCHEDULE:		PROPOSED
	REQUIRED	
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SETBACKS:		
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	60 Feet (Collector)	
	55 Feet (Minor)	
SIDE:	20 Feet	10 Feet (Min)
REAR:	20 Feet	20 Feet (Min)

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE
PROCEDURAL AND TECHNICAL STANDARDS FOR THE
PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH
OF MASSACHUSETTS.

JOYCE E. HASTINGS . P.L.S. DATE

LOT LAYOUT 2 OF 4

REVISIONS			REVISIONS		
1	04/10/18	APARTMENTS 136 UNITS	10	4/12/19	MULTI UNIT LAYOUT
2	07/06/18	PLAN LAYOUT & DRAINAGE	11	5/15/19	MULTI UNIT LAYOUT
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9	3/07/19	COMMENTS & LANDSCAPE			

**SITE DEVELOPMENT PLAN
"GOODRIDGE BROOK ESTATES"
Multi Unit & Single Family Subdivision Layout
LANCASTER, MASSACHUSETTS**

PREPARED FOR:
CRESCENT BUILDERS, INC.
94 NORTH MAIN STREET
BOYLSTON MA 01583



DRW.: RST

JOB No. 12,274

DATE: FEBRUARY 8, 2018

SCALE: 1" = 40'

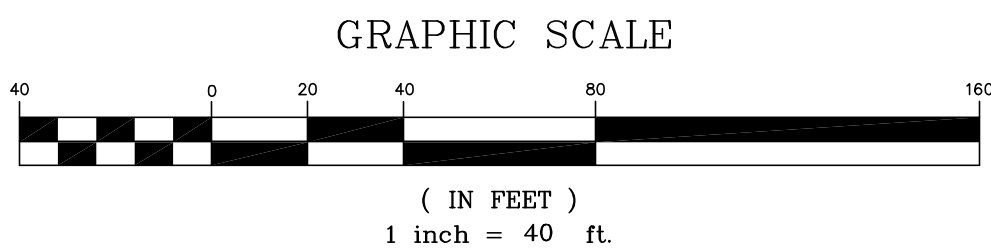
SHEET: 9 of 27

PLAN #: 27,147

FOR REGISTRY OF DEEDS USE ONLY

LOT SHAPE CALCULATION TABLE:

Lot	Perimeter	Area	Lot Shape	Lot	Perimeter	Area	Lot Shape
1	405.06	10241	16.02	32	389.46	9193	16.50
2	406.85	10058	16.46	33	407.63	9419	17.64
3	372.84	8057	17.25	34	501.79	15122	16.65
4	373.45	8255	16.89	35	458.45	12386	16.97
5	413.41	10083	16.95	36	421.04	10595	16.73
6	392.93	8040	19.20	37	410.00	10350	16.24
7	384.15	8826	16.72	38	417.93	10219	17.09
8	395.60	8200	19.09	39	411.05	10915	15.48
9	440.00	11200	17.29	40	386.26	9542	15.63
10	440.00	11200	17.29	41	375.36	8297	16.98
11	440.00	11200	17.29	42	401.48	10465	15.40
12	459.79	12587	16.80	43	403.11	8910	18.23
13	440.47	11203	17.32	44	385.69	8757	16.99
14	440.00	11200	17.29	45	378.14	9331	15.32
15	440.00	11200	17.29	46	451.65	11390	17.90
16	440.00	11200	17.29	47	370.00	8400	16.30
17	440.00	11200	17.29	48	370.00	8400	16.30
18	440.00	11200	17.29	49	369.36	8395	16.25
19	413.75	9294	18.42	50	427.04	10114	18.03
20	453.97	11642	17.70	51	423.00	10246	17.46
21	566.50	19994	16.05	52	408.47	10275	16.23
22	438.69	10596	18.16	53	370.00	8400	16.30
23	482.81	13728	16.98	54	370.00	8400	16.30
24	461.75	13553	15.73	55	370.00	8400	16.30
25	433.81	9988	18.84	56	420.21	10779	16.38
26	396.76	9233	17.05				
27	375.26	8566	16.44				
28	370.17	8400	16.31				
29	370.00	8400	16.30				
30	370.00	8400	16.30				
31	370.00	8400	16.30				



I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LANCASTER ZONING BOARD OF APPEALS WAS RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE 20 DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

TOWN CLERK _____ DATE _____

APPROVAL UNDER THE SUBDIVISION CONTROL LAW
LANCASTER BOARD OF APPEALS

DATE : _____

ZONING TABLE
CLASSIFICATION: RESIDENTIAL

SUBDIVISION SCHEDULE:	REQUIRED	PROPOSED
LOT AREA:	2.0 Acres	8,000 s.f. (Min)
FRONTAGE:	225 Feet	50 Feet (Min)
SETBACKS:		
FRONT:	74 Feet (Arterial) 60 Feet (Collector) 55 Feet (Minor)	20 Feet (Min)
SIDE:	20 Feet	10 Feet (Min)
REAR:	20 Feet	20 Feet (Min)

OWNER REFERENCE:
GLADY C KILBOURN
PO BOX 275
PO LANCASTER, MA

DEED REFERENCE:
REGISTRY OF DEEDS
BOOK 2922, PAGE 341

TOWN OF LANCASTER ASSESSOR'S REFERENCE

MAP 41, LOT 34B

⚡ DENOTES IRON ROD TO BE SET
⊞ DENOTES CONCRETE BOUND TO BE SET

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

JOYCE E. HASTINGS , P.L.S. DATE _____

SITE DEVELOPMENT PLAN
"GOODRIDGE BROOK ESTATES"
Multi Unit & Single Family Subdivision Layout
LANCASTER, MASSACHUSETTS

GLM Engineering Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100
F: 508-429-7160
www.GLMengineering.com

DRW.: RST

JOB No. 12,274

DATE: FEBRUARY 8, 2018

SCALE: 1"= 40'

SHEET: 10 of 27

PLAN #: 27,147

REVISIONS

10 4/12/19

REVISIONS

1 04/10/18

2 07/06/18

3 07/25/18

4 09/18/18

5 11/06/18

6 12/27/18

7 2/13/19

8 2/19/19

9 3/07/19

REVISIONS

REVISIONS

REVISIONS

REVISIONS

REVISIONS