

GENERAL NOTES & SPECIFICATIONS

1.0 CONDITIONS OF CONTRACT

1.1 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUBCONTRACTORS WITH ALL INFORMATION IN REGARDS TO FULL SCOPE OF THE PROJECT AND THEIR RESPECTIVE TRADES DURING BIDDING AND CONSTRUCTION PHASES.

2.0 GENERAL

2.1 SCOPE OF WORK INCLUDES ALL WORK REQUIRED TO PROVIDE THE OWNERS THE WORK DEFINED IN THE CONSTRUCTION DOCUMENTS AND ALL BASE BUILDING CONSTRUCTION WITHIN THE IDENTIFIED SCOPE IN FULL INTENDED OPERATION.

2.2 GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INJURY AND DAMAGE OF ANY KIND RESULTING FROM THIS WORK, TO PERSONS OR PROPERTY.

2.3 RENTAL CHARGES, SAFETY, PROTECTION AND MAINTENANCE OF RENTED EQUIPMENT SHALL BE CONTRACTORS RESPONSIBILITY.

2.4 PROJECT SHALL NOT BE COMPLETED UNTIL ALL NECESSARY AFFIDAVITS, CERTIFICATION, AGENCY APPROVALS AND INSURANCE CONDITIONS OF THIS CONTRACT HAVE BEEN FULFILLED TO THE SATISFACTION OF THE OWNER. APPLICABLE REQUIREMENTS OF THE GENERAL CONDITIONS INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO THE FOLLOWINGS:

- A. FINAL CLEANUP.
- B. COMPLETION OF ALL PUNCH LIST ITEMS.
- C. SUBMISSION OF WAIVERS OF LIEN COVERING THIS CONTRACTOR AND HIS SUBCONTRACTORS AND SUPPLIERS.
- D. COMPLETE SET OF TAGS, CHARTS, DIAGRAMS, INSTRUCTION BOOKLETS, ETC. AS REQUIRED FOR MECHANICAL AND ELECTRICAL INSTALLATIONS.
- E. SUBMISSION OF ALL BUILDING DEPARTMENT APPROVALS AND CERTIFICATIONS.
- F. WARRANTIES IN THE NAME OF THE OWNER, PRODUCT INFORMATION AND COPIES OF SUBMITTALS.

2.5 THIS JOB IS DESIGN-BUILD FOR THE FOLLOWING SYSTEMS: ELECTRICAL, MECHANICAL, PLUMBING. CONTRACTORS ARE REQUIRED TO FINALIZE THE DESIGN OF THEIR RESPECTIVE SYSTEMS FOR FULL AND PROPER OPERATIONS ACCORDING TO THE APPLICABLE LAWS AND SPECIFICATIONS IN THE PROJECT MANUAL IN ORDER TO SATISFY INTENDED FUNCTION AND DESIGN OF MECHANICAL AND ELECTRICAL DRAWINGS PROVIDED HERE.

2.7 CONTRACTOR TO PROVIDE EMERGENCY ACCESS TO THE BUILDING TWO MEANS OF EGRESS AT ALL TIMES, AREA TO BE CLEARED OF DEBRIS, PARTITIONED OFF AND UT FOR CONTINUAL ACCESSIBILITY OF TWO EXITS. TWO EXITS NEED TO BE PROVIDED DURING THE CONSTRUCTION AND DEMOLITION.

3.0 DOCUMENTS

3.1 THESE DOCUMENTS HAVE BEEN COMPILED WITH THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF WORK. THE CONTRACTOR MAY ENCOUNTER HIDDEN OR COVERED CONDITIONS, NOT INDICATED IN THE DOCUMENTS, REQUIRING ADDITIONAL WORK FOR THE COMPLETION OF THE CONTRACT. IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INSPECTED THE SITE PRIOR TO BIDDING AND VERIFIED ALL CONDITIONS, DIMENSIONS, AND OTHER INFORMATION HEREIN SUPPLIED.

3.2 ALL DIMENSIONS AND LAYOUTS SHALL BE FIELD VERIFIED BY THE CONTRACTOR/OWNER TO COORDINATE THE ARCHITECTURAL DRAWINGS WITH APPROVED SITE PLAN. ANY INCONSISTENCIES, DISCREPANCIES OR AMBIGUITIES SHALL BE REPORTED TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

3.3 ALL WORKING STANDARDS SHALL REFLECT IRC 2009 AND 780 CMR 6TH EDITION, AMENDMENTS OF BUILDING CODE FOR ONE / TWO FAMILY DWELLING.

3.4 CONTRACTOR SHALL REVIEW PLANS AND REPORT ANY INCONSISTENCIES.

3.5 CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, AND SHALL PAY AND OBTAIN BUILDING PERMITS AND ALL NECESSARY APPROVALS. CONTRACTOR SHALL OBTAIN ALL APPROVALS AND PERMITS FOR CONSTRUCTION FROM THE MUNICIPAL AGENCIES HAVING JURISDICTION, PRIOR TO COMMENCEMENT OF WORK, AT HIS OWN EXPENSE.

3.6 CONTRACTOR SHALL GUARANTEE ALL WORK AGAINST DEFECTS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.

4.0 TRADES

4.1 THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, SAMPLES OF ALL FINISH MATERIALS SHALL BE SUBMITTED TO OWNER AND/OR DESIGNER FOR APPROVAL, INCLUDING PAINT SAMPLE. ANY FINISHES THAT ARE PURCHASED BEFORE APPROVAL AND ARE SUBSEQUENTLY REJECTED ARE THE RESPONSIBILITY OF THE CONTRACTOR. NO SUBSTITUTIONS WILL BE CONSIDERED FOR PRODUCTS OR METHODS THAT CANNOT BE PROVIDED AS A RESULT OF CONTRACTORS FAILURE TO ORDER PRODUCTS IN A TIMELY MANNER. PURSUE THE WORK PROMPTLY, OR TO COORDINATE THE VARIOUS ACTIVITIES PROPERLY.

4.2 THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR DEVIATIONS FROM REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE OWNERS AND/OR DESIGNERS APPROVAL OF SHOP DRAWINGS, PRODUCT DATA, SAMPLES, OR SIMILAR SUBMITTALS UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE OWNER AND/OR DESIGNER IN WRITING OF SUCH DEVIATION AT THE TIMES OF SUBMITTAL AND THE ARCHITECT HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION. THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS, PRODUCT DATA, SAMPLES, OR SIMILAR SUBMITTALS BY THE OWNERS AND/OR DESIGNERS APPROVAL THEREOF.

4.3 HVAC CONTRACTOR TO PROVIDE DESIGN-BUILD SERVICES. ALL WORK TO BE IN COMPLIANCE W/ 780 CMR BUILDING CODE 6TH EDITION INCLUDING LAYOUT/INSTALLATION DRAWINGS WITH COMPLETE LISTING AND SIZES OF ALL EQUIPMENT PROPOSED FOR USE. UPON ACCEPTANCE, SUBMIT THESE DRAWINGS TO THE OWNER AND/OR DESIGNER FOR REVIEW AND APPROVAL. LOCATE TO SCALE ALL EQUIPMENT, PLUS SIZES AND ROUTING OF ALL DUCT WORK OR PIPING. GENERAL CONTRACTOR SHALL COORDINATE THIS LAYOUT WITH FRAMERS, PRIOR TO FRAMING. PROVIDE ACOUSTIC DUCT INSTALLATION FOR SUPPLY AND RETURN DUCTS WITHIN 10'-0" OF CONNECTION TO FORCED-AIR EQUIPMENT OR OTHERS. PROVIDE QUIET OPERATING EXHAUST FANS IN ALL KITCHEN RANGE(S) BATHROOMS AND LAUNDRY ROOM IN LIVING SPACE. DUCTED TO EXTERIOR. PROVIDE MAKE-UP COMBUSTION AIR PER CODE REQUIREMENTS, WITH PRE-HEAT.

4.4 PLUMBING CONTRACTORS TO PROVIDE DESIGN-BUILD SERVICES. ALL WORK TO BE IN COMPLIANCE W/ 780 CMR OF THE PLUMBING CODE. PROVIDE BUILDING INSPECTOR WITH ANY AND ALL REQUIRED DRAWINGS, I.E. RISER DIAGRAMS ETC. WITH PERMIT APPLICATION. SUBMIT A COMPLETE PROPOSED FUTURE SCHEDULE FOR THE OWNER AND/OR DESIGNER FOR REVIEW AND APPROVAL. SEE SITE PLAN FOR LOCATIONS OF REQUIRED TIE-INS. ALL SUPPLY PIPING TO BE TYPE "L" COPPER MINIMUM 1/2" ID. FOR BRANCH LINES AND MINIMUM 3/4" I.D. FOR ALL TRUNK LINES. INSULATE ALL HOT WATER LINES. ALL DRAINAGE LINES TO BE PVC OF SIZES AS REQUIRED BY CODE. VENT ALL FIXTURES INCLUDING ANY BOW VENTS. PROTECTION OF TUB IS THIS CONTRACTORS RESPONSIBILITY. REVIEW SPECIFICS OF PIPE DISTRIBUTION WITH GENERAL CONTRACTOR AND FRAMING CONTRACTOR. FOLLOW CODE GUIDELINES FOR CUTTING AND NOTCHING FRAMING MEMBERS. SCHEDULE ALL INSPECTIONS IN A TIMELY MANNER.

4.5 ELECTRICAL CONTRACTOR TO PROVIDE DESIGN & BUILD SERVICES. ALL WORK TO BE IN COMPLIANCE W/ 780 CMR & NFPA 50 REQUIREMENTS. COORDINATE UTILITY COMPANY REQUIREMENTS WITH ARCHITECT AND SITE CONTRACTOR. COORDINATE ALL TRENCHING WITH GENERAL CONTRACTOR. SERVICE TO BE DESIGNED FOR 200 AMP WITH CIRCUIT BREAKER PANEL BOARD SIZED ADEQUATELY FOR EACH UNIT. COORDINATE WITH HVAC CONTRACTOR FOR A/C LOAD. REVIEW LAYOUT IN FIELD WITH ARCHITECT AND GENERAL CONTRACTOR TO VERIFY LOCATIONS OF ALL SWITCHING AND LIGHTING. CONTRACTOR MUST GIVE ALLOWANCES FOR LIGHTING IN CONTRACT. OWNER TO SELECT ALL LIGHTING FIXTURES AND APPLIANCES FOR CONTRACTOR TO INSTALL. PROVIDE PERMIT AND SCHEDULE ALL INSPECTIONS IN A TIMELY FASHION. PROVIDE CARBON MONOXIDE, SMOKE AND HEAT DETECTORS PER CODE REQUIREMENTS.

4.6 IF CONFLICTS OCCUR BETWEEN DWGS AND SPECS OR PRODUCTS, PROCEDURES, ETC., THE MORE STRINGENT DETAIL AND HIGHER QUALITY SHALL BE CONSIDERED THE INTENT OF THE CONTRACT DOCUMENTS. OWNERS AND/OR DESIGNERS CONFORMANCE IS REQUIRED.

4.7 THE INTENT OF CONTRACT DOCS & RESPECTIVE DESIGN-BUILD DISCIPLINES REPRESENT A COMPLETE INSTALLATION PER INDUSTRY AND TRADE STANDARDS FOR SIMILAR TYPES OF CONSTRUCTION IN THE GEOGRAPHIC REGION. ES, OR SIMILAR SUBMITTALS BY THE OWNERS AND/OR DESIGNERS APPROVAL THEREOF.

NEW CONSTRUCTION:
SINGLE FAMILY
DETACHED
Goodridge Brook
Estates MA

LEGEND

SYMBOLS

- SECTION
- DETAIL
- EXTERIOR ELEVATION
- INTERIOR ELEVATION
- DOOR INDICATION
- WINDOW INDICATION
- PARTITION TYPE
- VERTICAL REF. POINT
- ROOM NUMBER

MATERIALS

- EARTH - LOAM
- EARTH - FILL
- GRAVEL
- SAND
- CONCRETE
- CONCRETE MASONRY
- BRICK
- BITUMINOUS CONCRETE
- BATT INSULATION
- RIGID INSULATION
- WOOD - FRAMING
- WOOD - FINISH
- ZIP PANEL SHEATHING - SMALL SCALE
- ACOUSTICAL TILE
- STEEL
- ALUMINUM
- METAL - SMALL SCALE



BUILDING SUMMARY

| | |
|----------------|-----------------|
| DIMENSIONS | 60'-0" X 40'-0" |
| # OF FLOORS | TWO STORIES |
| # BEDROOM | FOUR |
| # OF BATHROOMS | TWO AND HALF |
| FIRST FLOOR | 1,208 SF |
| SECOND FLOOR | 1,496 SF |
| TOTAL (HEATED) | 2,704 SF |
| GARAGE: | 2 BAYS |

LIST OF DRAWINGS

- ARCHITECTURAL DRAWINGS
- T-1 TITLE SHEET, DRAWING LIST, BUILDING DESCRIPTION
 - T-2 GENERAL CONSTRUCTION NOTES
 - A-0 FOUNDATION PLAN & DETAILS
 - A-1 FIRST FLOOR PLAN & DETAILS
 - A-2 SECOND FLOOR
 - A-3 THIRD FLOOR PLAN
 - A-4 ROOF PLAN & DETAILS
 - A-5 SECTIONS "A" & WINDOWS SCHEDULE
 - A-6 SECTION "B" & DETAILS
 - A-7 SECTIONS "C" & "D"
 - A-8 FRONT ELEVATION
 - A-9 LEFT ELEVATION
 - A-10 REAR ELEVATION
 - A-11 RIGHT ELEVATION
 - A-12 DECK DETAILS
 - A-13 WALL BRACING DETAILS
 - S-1 FIRST FLOOR FRAMING PLAN
 - S-2 SECOND FLOOR FRAMING PLAN
 - S-3 THIRD FLOOR FRAMING PLAN
 - S-4 CEILING FRAMING PLAN
 - S-5 ROOF FRAMING PLAN

NEW
CONSTRUCTION:
SINGLE FAMILY
DETACHED
Goodridge Brook
Estates MA

ACROPOLIS
DESIGN CONSULTANTS

16 DASHY STREET, WOBURN, MA 01801
TEL: (781) 265-5107 FAX: (781) 265-5108

| NO. | DATE | REVISION |
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ARCHITECTURAL
TITLE SHEET,
DRAWING LIST &
BUILDING
DESCRIPTION

PROJECT NUMBER: 16-16
SCALE: 1/8" = 1'-0"
DATE: 5/5/16

DRAWING NUMBER

T-1

NEW
CONSTRUCTION:
SINGLE FAMILY
DETACHED
Goodridge Brook
Estates MA

ACROPOLIS
DESIGN CONSULTANTS

1 DABBY STREET, ROCHESTER, MA 01660
TEL: 781-242-3117 info@acropolisdesign.org

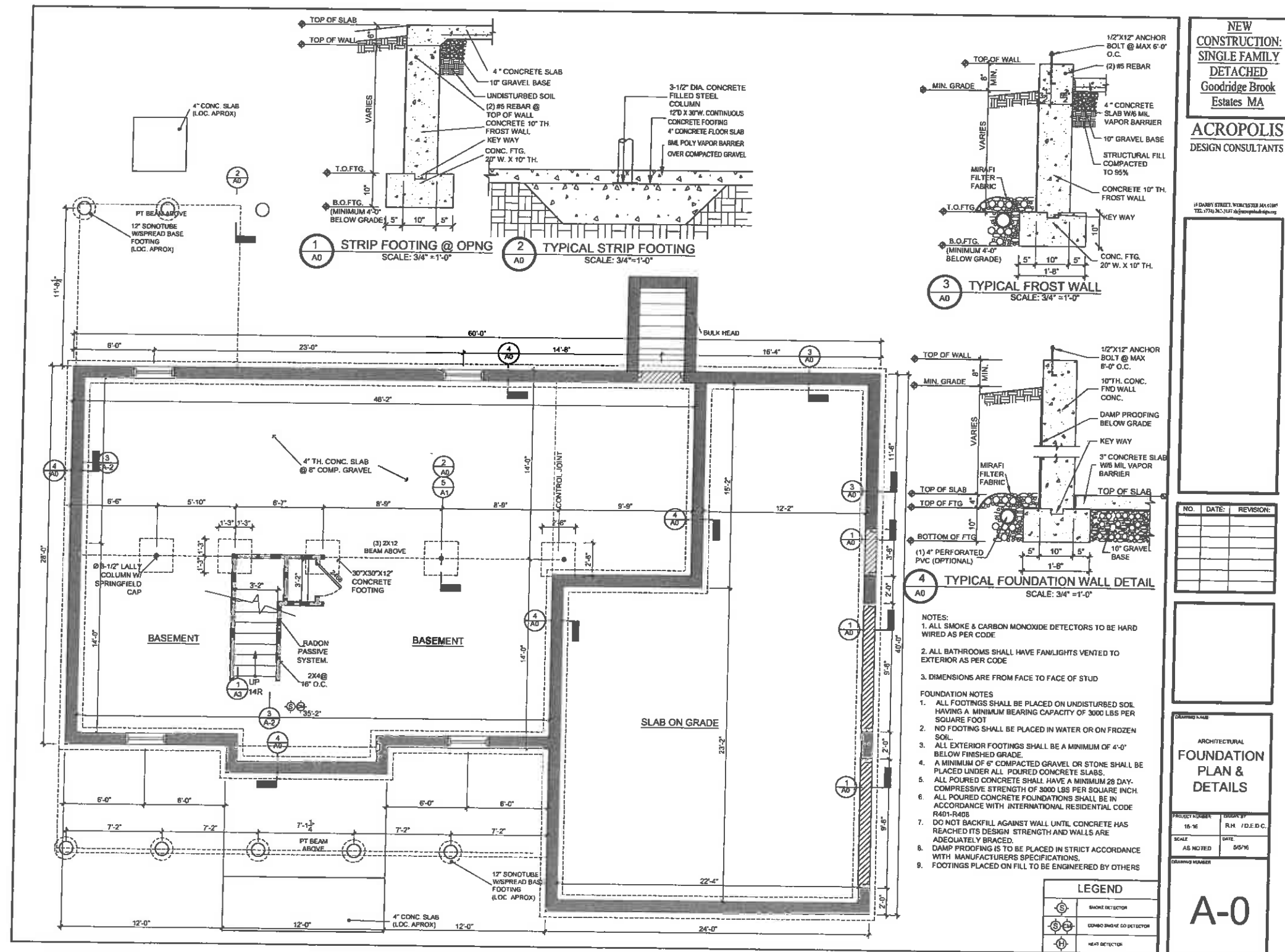


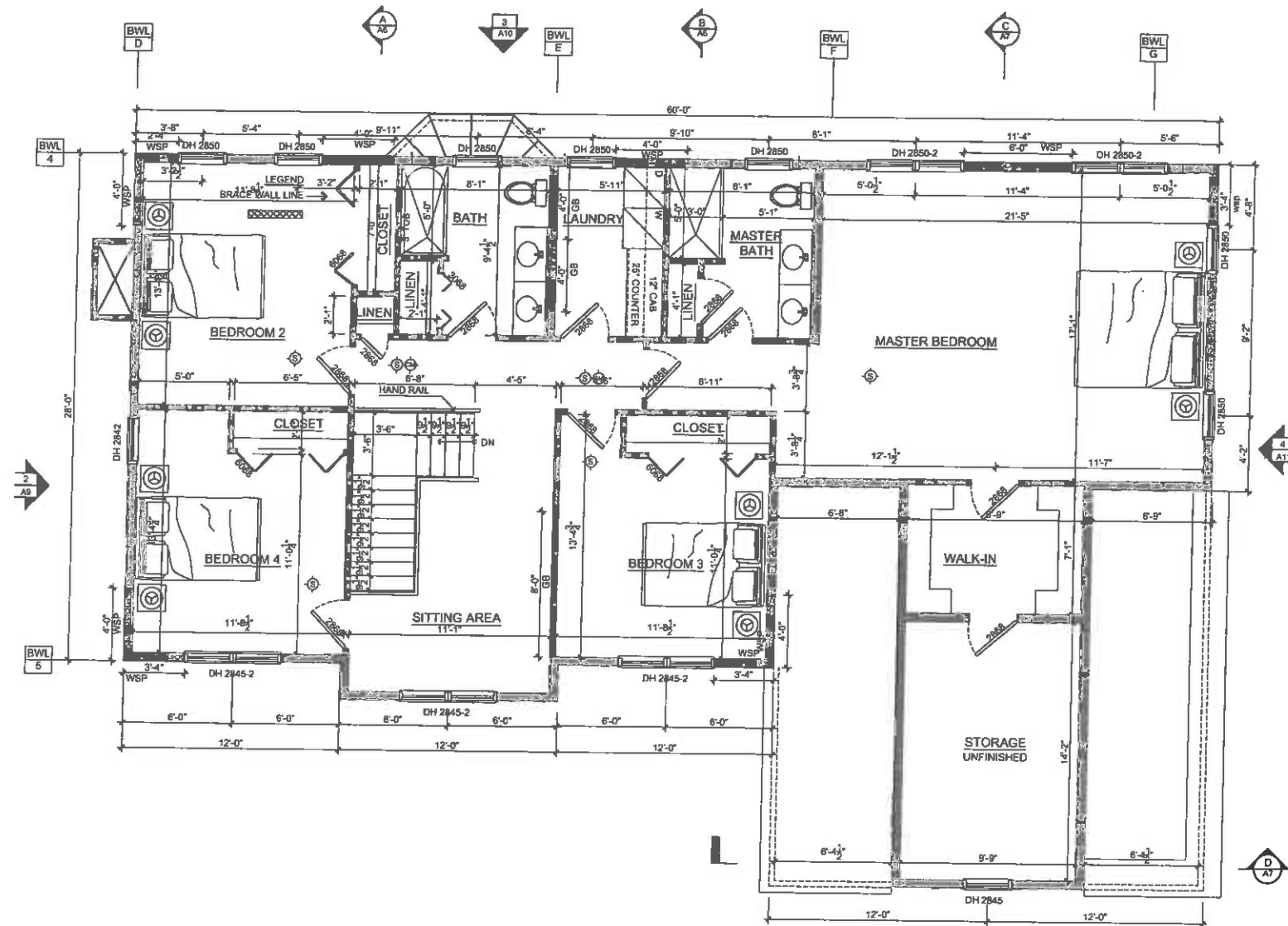
1 FRONT ELEVATION
1/4" = 1'-0"

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| PROJECT NAME | |
| ARCHITECTURAL | |
| FRONT ELEVATION | |
| PROJECT NUMBER | DRAWN BY |
| 16-10 | R.H. / D.E.C. |
| SCALE | DATE |
| 3/16" = 1'-0" | 5/5/18 |
| DRAWING NUMBER | |

A-8





NEW
 CONSTRUCTION:
 SINGLE FAMILY
 DETACHED
 Goodridge Brook
 Estates, MA

ACROPOLIS
 DESIGN CONSULTANTS

51 Union Street, Ste. 200 W. Worcester, MA 01605
 774/263-3787 info@acropolisdesigns.org

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SECOND
 FLOOR
 PLAN

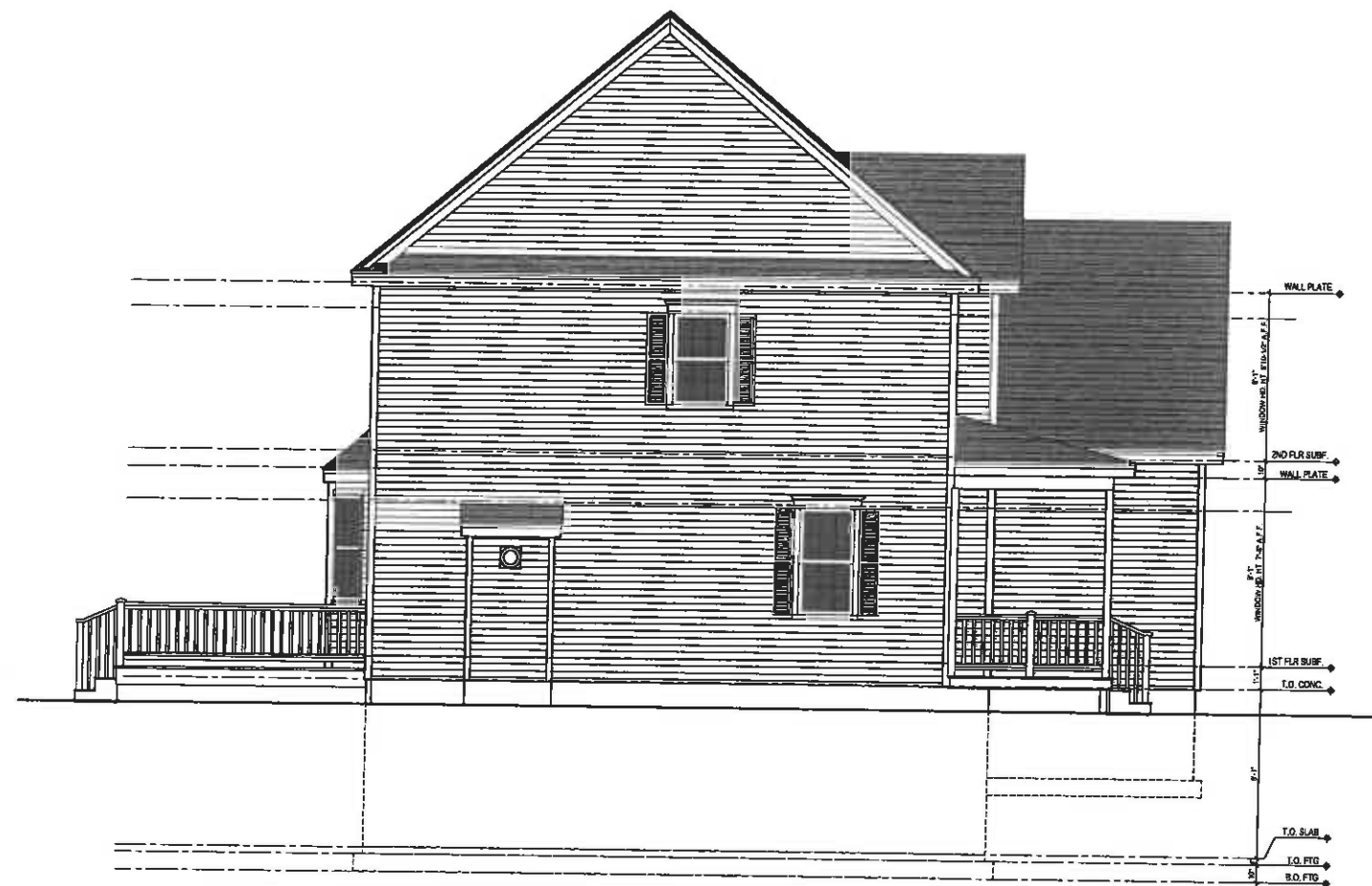
16-16 R.M. / D.E.D.C.
 05/16

A-2

NEW
CONSTRUCTION
SINGLE FAMILY
DETACHED
Goodridge Brook
Estates MA

ACROPOLIS
DESIGN CONSULTANTS

11/14/2017 10:00 AM
11/14/2017 10:00 AM



LEFT ELEVATION
1/4" = 1'-0"

| NO. | DATE | REVISION |
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FRONT &
RIGHT
ELEVATION

| NO. | DATE | REVISION |
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A-9



3 REAR ELEVATION
1/4" = 1'-0"

NEW
CONSTRUCTION:
SINGLE FAMILY
DETACHED
Goodridge Brook
Estates MA

ACROPOLIS
DESIGN CONSULTANTS

17 PARK STREET, SUITE 200, BOSTON, MA 02114
TEL: 617.462.5000, FAX: 617.462.5001, WWW.ACROPOLISMA.COM

| NO. | DATE | REVISION |
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DRIVING NAME
ARCHITECTURAL
REAR
ELEVATION

| PROJECT NUMBER | DATE |
|----------------|---------------|
| 16-15 | 5/5/18 |
| SCALE | DRAWN BY |
| 1/4" = 1'-0" | RH / D.E.D.C. |

A-10