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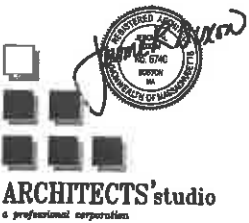
SINGLE FAMILY DETACHED
Goodridge Brook Estates MA



A Front Elevation
A31

KEY TO ELEVATIONS

- 1 CONTINUOUS RIDGE VENT
- 2 ARCHITECTURAL GRADE SHINGLES
- 3 PROVIDE CONTINUOUS EDGE Drip FLASHING
- 4 PROVIDE STUD-NE ICE AND WATER SHED, 36" WIDE UNDER ROOF SHINGLES AT ALL EDGES, VALLEY AND JOINT LOCATIONS. APPLY TO VERTICAL WALL SURFACES ADJOINING ROOF SURFACE. MINIMUM 6" LAP REQUIRED.
- 5 PROVIDE FLASHING BEHIND SIDING
- 6 FACTORY PAINTED ALUMINUM FASCIA TRIM OVER BLOCKING
- 7 VINYL CLAPBOARD SIDING
- 8 FACTORY PAINTED ALUMINUM CORNER TRIM ON 1/4 BLOCKING
- 9 ALUMINUM GUTTERS AND DOWNSPOUTS
- 10 TREATED WOOD DECK
- 11 FACTORY PAINTED ALUMINUM TRIM ON 1/4 BLOCKING
- 12 EXPOSED CONCRETE FOUNDATION
- 13 FLASH AT TOP OF DOORS AND WINDOWS, TYPICAL
- 14 MASONRY STOOP AND STEPS
- 15 FOUNDATION BELOW GRADE IS SHOWN AS DASHED LINE
- 16 FLOOR SLAB BEYOND
- 17 FINISHED GARAGE
- 18 FACTORY PAINTED ALUMINUM TRIM ON 1/8 BLOCKING
- 19 FACTORY PAINTED ALUMINUM OVER 1/20 PLYWOOD
- 20 PAINTED PAPER-FACED PLYWOOD SUBSTRATE BEVEL BOTTOM EDGE FOR DRIP
- 21 SHOE MOLDING
- 22 1/2" WIDE VINYL SHUTTER
- 23 1" THERMOGLASS WINDOW CROSSHEAD PANEL WITH DENTIL TRIM



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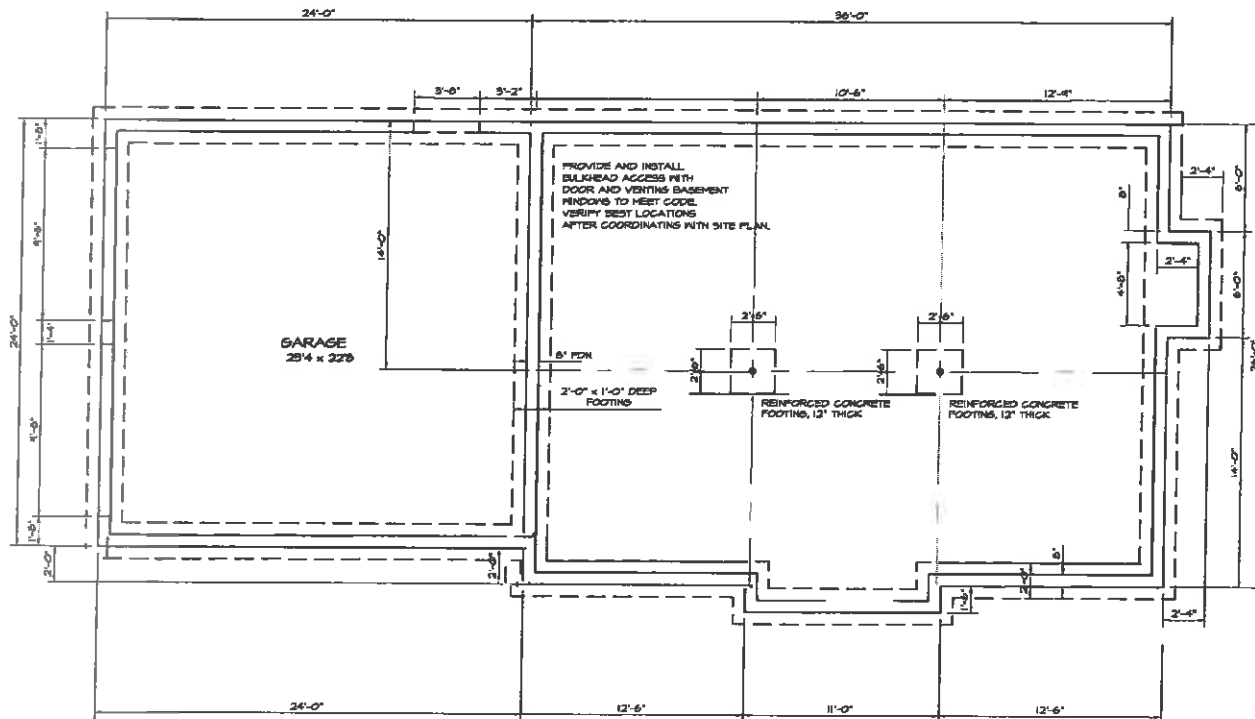
Front
Elevation

DATE: 10 May 2005
DRAWN BY: JED
CHECKED BY: JED
ARCHITECT'S PROJECT NUMBER: 2005071

A31

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B Foundation and Basement Plan

UNHEATED BASEMENT
660 SF

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FOUNDATION NOTES

The Contractor and all subcontractors shall perform their work according to the following:

MINI RESIDENTIAL CONSTRUCTION

0 GENERAL

- The Contractor shall carefully study and compare the Contract Documents and shall at once report to the Architect any error, inconsistency or omission he may discover. All modifications shall be confirmed in writing within 24 hours of the event.
 - The Contractor shall be responsible for all methods and means employed during construction.
- APPLICABLE BUILDING CODES**
Construct foundation, footings and basement walls in accordance with 200 CMR Section 3400.0 FOUNDATIONS.
 - CONCRETE**
Poured-in-place concrete shall have a minimum compressive strength of 3,000 PSI after 28 days.
 - DIMENSIONAL CRITERIA**
 - Foundation walls shall extend at least 6" above finished grade.
 - Provide a minimum of 48" from cover.
 - Minimum width of foundation wall shall be 10" unless noted otherwise.
 - Provide minimum air space of 1/2" at top, sides and end of beams in pockets.
 - Wood siding shall be at least 6" above finished grade.

4 PERIMETER DRAIN SYSTEM

- Provide and install a complete perimeter drain system.
- Extend perimeter drain system past foundation structure and discharge to gravity.
- Wrap drain pipe with 100% fabric to prevent plugged perforations.
- Reel drain on minimum 2" crushed stone.
- Cover drain with a minimum of 6" of crushed stone.

5 DAMPROOFING AND ROOFING-PROOFING

- Damproof foundation from the footing to finished grade line.
- Provide 6 mil plastic vapor barrier from the footing to finished grade line and crushed stone under concrete slab.

6 PRESSURE TREATED FLOOR REQUIRED ANY

- Floor slabs in contact with concrete foundation.
- Floor joists and columns in contact with concrete.

7 ANCHOR BOLT PLACEMENT

- Set anchor bolts at minimum spacing of 6'-0" O.C. and not less than 12" from each corner.

10 SUBMITTALS

- Where color, product or design selections are required, the Contractor shall submit samples for Architect's approval.
- The contractor shall be responsible for all field dimensions and proper installation of said work.
- Where specified products and manufacturers are specified, the Contractor may use an equal if approved as such by the Architect. In such cases, the Contractor shall submit specifications sheets and samples as applicable for the Architect's approval prior to ordering.

8 LAYOUT

- Written dimensions supersede scaled units.
- DO NOT SCALE drawings.
- Notify Architect of discrepancies before proceeding.

03 Concrete

1-1 03500 - CAST-IN-PLACE CONCRETE

Part I- GENERAL

- The Work included in this subcontract shall be performed according to the General Conditions and Requirements which are attached on the cover sheet of this set of drawings.
- Coordinate the Work with the RELATED WORK of others which includes but is not necessarily limited to the following:
 - RESERVED
 - The Work includes those shown on drawings, specified herein and the following:
 - Foundations
 - Footings, Walls and Slabs
 - Concrete Paving and Ramps
- APPLICABLE CODES** - Comply with the latest edition of the following:
 - ACI 308 - Specifications for Structural Concrete in Buildings
 - Manual of Standard Practice for Dewatering Reinforced Concrete Structures
 - ACI 308 - Detailing Code Requirements for Reinforced Concrete

Part II- PRODUCTS AND MATERIALS

- AGGREGATES** shall conform with ASTM C29, Maximum aggregate size shall be 3/4 inch.
- PORTLAND CEMENT** shall conform with ASTM C50 Type I.
Water-Cement Ratio Not greater than .45 by weight.
Slump 1 to 5 inches.
Moisture Potable.
Compressive Strength 4000psi at 28 days.
- ADDITIONS** Containing calcium chloride or other chemicals SHALL NOT be used.
- REINFORCING BARS** shall conform with ASTM A601.
- REINFORCING BARS** shall conform with ASTM A601, Grade 60.

Part III- EXECUTION

- RESERVED
- FLOOR SLAB FINISH** Steel float, trowel.
- Exterior Paving, Walls, Slopes** Finish.

KEY TO WALL TYPES

- EXTERIOR INSULATED WALL
2x6 @ 16" O.C.
- INTERIOR INSULATED WALL
2x4 @ 16" O.C.
- INTERIOR KET WALL WITH SOUND BATTS
2x6 @ 16" O.C.
- INTERIOR WALL WITH SOUND BATTS
FURR OUT TO CREATE APPLIANCE RECESS
2x4 @ 16" O.C.
- INTERIOR WALL WITH SOUND BATTS
2x4 @ 16" O.C.
- INTERIOR WALL
2x4 @ 16" O.C.

GENERAL NOTES

- DIMENSIONS SHOWN ARE ROUGH FRAMING DIMENSIONS TO FACE OF STUDS OR CENTERLINES OF OBJECTS UNLESS SPECIFICALLY NOTED OTHERWISE.
- WINDOWS SHALL BE ANDERSEN SILVERLINE DOUBLE HANG WHITE CASING AND SILL, NOSING 6'-4/16" EXTENSION JAMES; 5'-1/2" COMMON JAMES.



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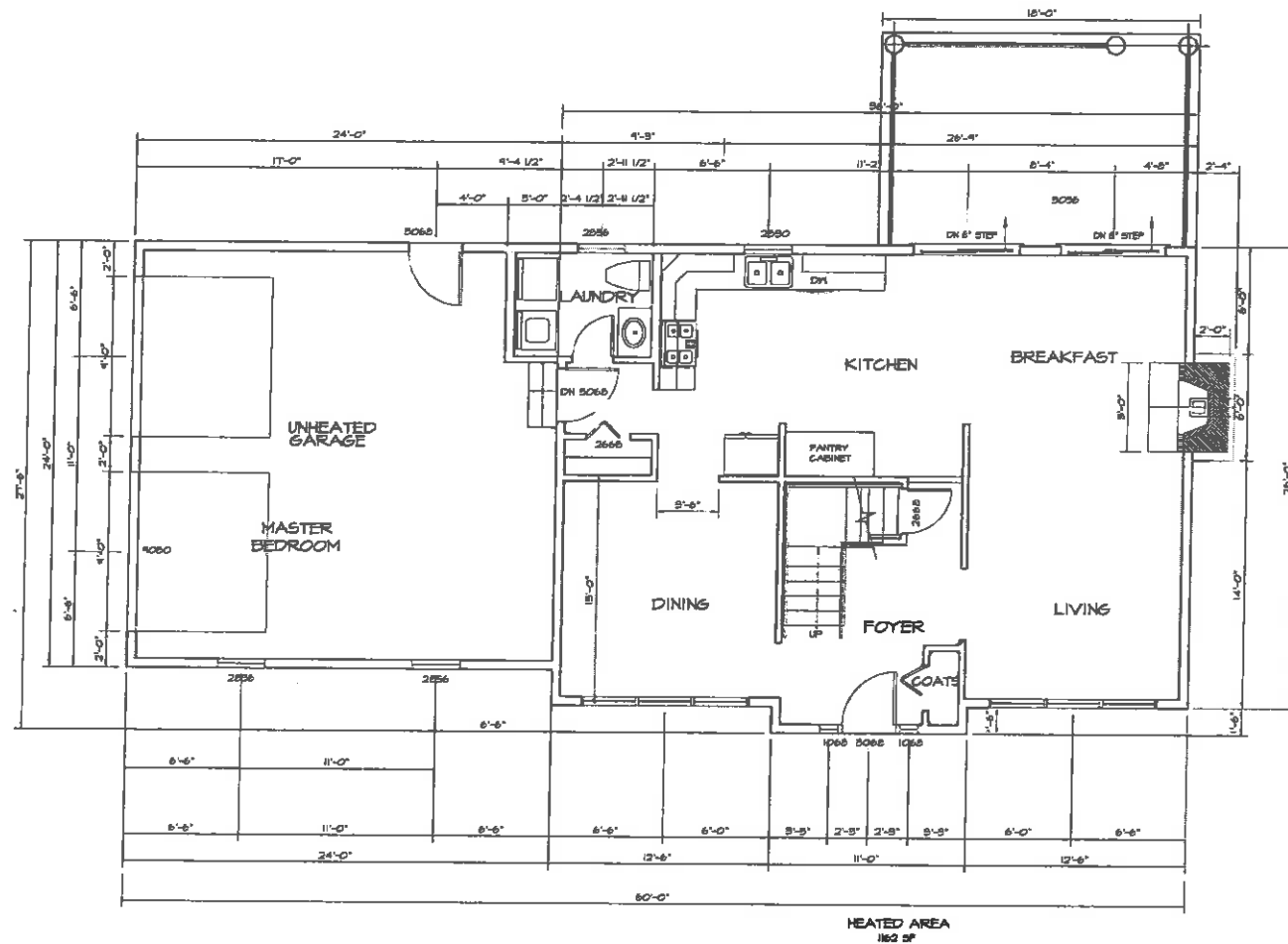
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**Foundation and
Basement Plan**

DATE: 15 May 2012
DRAWN BY: JED
CHECKED BY: JED
ARCHITECT'S PROJECT NUMBER: J30271

1" = 4'-0" 1/4" = 1'-0" 1/8" = 2'-0"

A10



1st Floor Plan

KEY TO WALL TYPES

- EXTERIOR INSULATED WALL
2x6 @ 16" O.C.
- INTERIOR INSULATED WALL
2x4 @ 16" O.C.
- INTERIOR MET WALL WITH SOUND BATTS
2x6 @ 16" O.C.
- INTERIOR WALL WITH SOUND BATTS
FURR OUT TO CREATE APPLIANCE RECESS
2x4 @ 16" O.C.
- INTERIOR WALL WITH SOUND BATTS
2x4 @ 16" O.C.
- INTERIOR WALL
2x4 @ 16" O.C.

GENERAL NOTES

- DIMENSIONS SHOWN ARE ROUGH FRAMING DIMENSIONS TO FACE OF STUDS OR CENTERLINES OF OBJECTS UNLESS SPECIFICALLY NOTED OTHERWISE
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1st Floor Plan

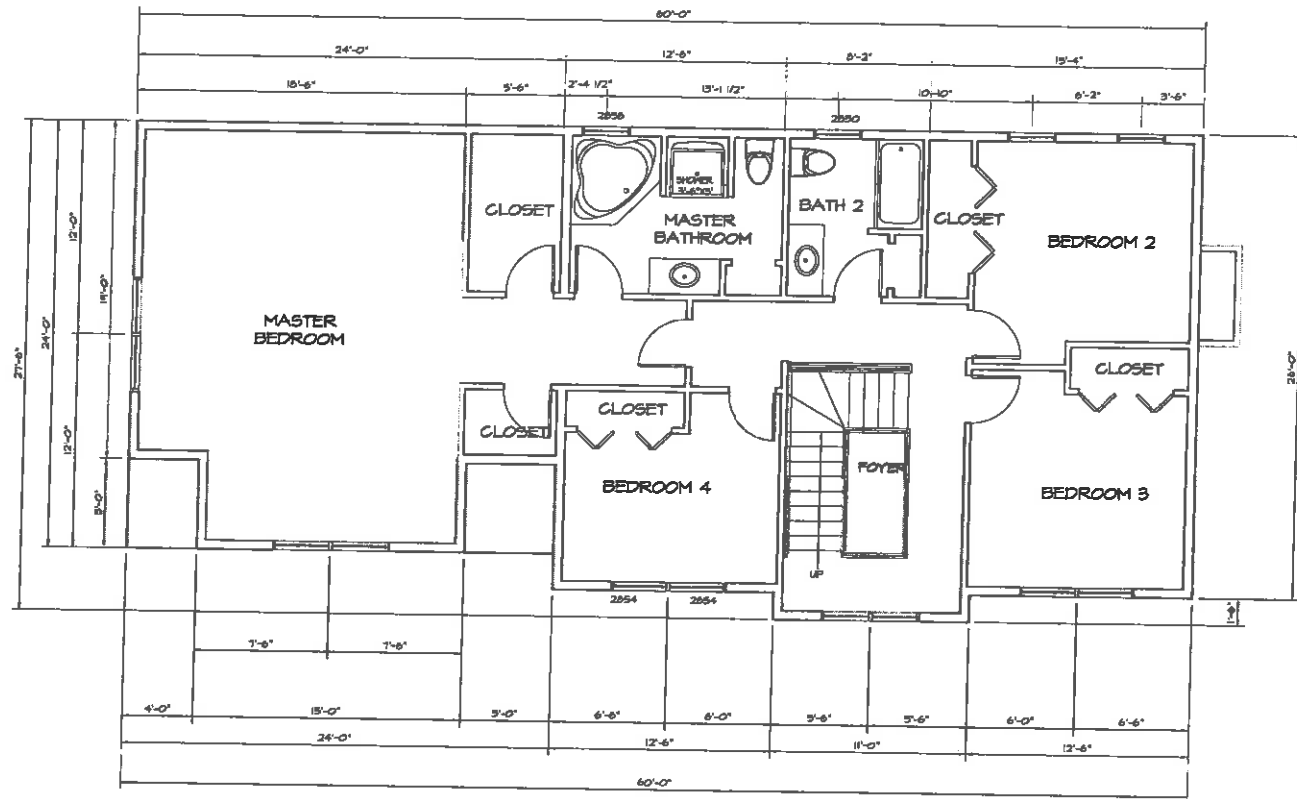
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DRAWN BY: JPD
CHECKED BY: JPD
ARCHITECTS PROJECT NUMBER: J20271

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A11

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2 2nd Floor Plan
A12



KEY TO WALL TYPES

- EXTERIOR INSULATED WALL
2x6 @ 16" O.C.
- INTERIOR INSULATED WALL
2x4 @ 16" O.C.
- INTERIOR NET WALL WITH SOUND BATTS
2x6 @ 16" O.C.
- INTERIOR WALL WITH SOUND BATTS
FURR OUT TO CREATE APPLIANCE RECESS
2x4 @ 16" O.C.
- INTERIOR WALL WITH SOUND BATTS
2x4 @ 16" O.C.
- INTERIOR WALL
2x4 @ 16" O.C.

GENERAL NOTES

1. DIMENSIONS SHOWN ARE ROUGH FRAMING DIMENSIONS TO FACE OF STUDS OR CENTERLINES OF OBJECTS UNLESS SPECIFICALLY NOTED OTHERWISE
2. WINDOWS SHALL BE ANDERSEN SILVERLINE DOUBLE HUNG WHITE CASING AND SILL NOSING 6-4/16" EXTENSION JAMBES; 5-1/2" COMMON JAMB


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2nd Floor Plan

DATE: 15 May 2012
DRAWN BY: JRD
CHECKED BY: JRD
ARCHITECT'S PROJECT NUMBER: J02021

1 2 3 4 5 6 7 8 9 10 11 12
0' 1' 2' 3' 4' 5' 6' 7' 8' 9' 10' 11' 12'

A12