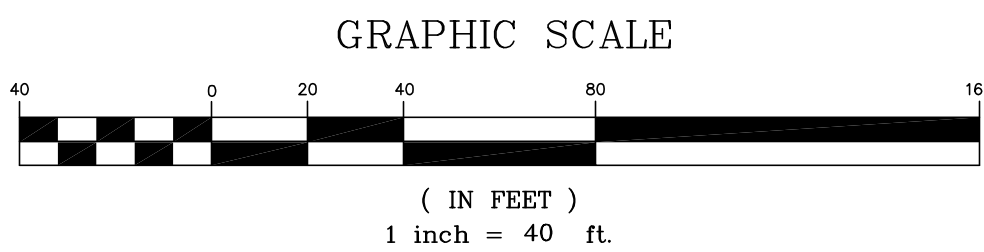


FOR REGISTRY OF DEEDS USE ONLY

LOT SHAPE CALCULATION TABLE:

Lot	Perimeter	Area	Lot Shape	Lot	Perimeter	Area	Lot Shape
1	405.06	10241	16.02	32	389.46	9193	16.50
2	406.85	10058	16.46	33	407.63	9419	17.64
3	372.84	8057	17.25	34	501.79	15122	16.65
4	373.45	8255	16.89	35	458.45	12386	16.97
5	413.41	10083	16.95	36	421.04	10595	16.73
6	392.93	8040	19.20	37	410.00	10350	16.24
7	384.15	8826	16.72	38	417.93	10219	17.09
8	395.60	8200	19.09	39	411.05	10915	15.48
9	440.00	11200	17.29	40	386.26	9542	15.63
10	440.00	11200	17.29	41	375.36	8297	16.98
11	440.00	11200	17.29	42	401.48	10465	15.40
12	459.79	12587	16.80	43	403.11	8910	18.23
13	440.47	11203	17.32	44	385.69	8757	16.99
14	440.00	11200	17.29	45	378.14	9331	15.32
15	440.00	11200	17.29	46	451.65	11390	17.90
16	440.00	11200	17.29	47	370.00	8400	16.30
17	440.00	11200	17.29	48	370.00	8400	16.30
18	440.00	11200	17.29	49	369.36	8395	16.25
19	413.75	9294	18.42	50	427.04	10114	18.03
20	453.97	11642	17.70	51	423.00	10246	17.46
21	566.50	19994	16.05	52	408.47	10275	16.23
22	438.69	10596	18.16	53	370.00	8400	16.30
23	482.81	13728	16.98	54	370.00	8400	16.30
24	461.75	13553	15.73	55	370.00	8400	16.30
25	433.81	9988	18.84	56	420.21	10779	16.38
26	396.76	9233	17.05				
27	375.26	8566	16.44				
28	370.17	8400	16.31				
29	370.00	8400	16.30				
30	370.00	8400	16.30				
31	370.00	8400	16.30				



I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LANCASTER ZONING BOARD OF APPEALS WAS RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE 20 DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

TOWN CLERK

DATE

APPROVAL UNDER THE SUBDIVISION CONTROL LAW
LANCASTER BOARD OF APPEALS

DATE :

ZONING TABLE
CLASSIFICATION: RESIDENTIAL

SUBDIVISION	SCHEDULE:	REQUIRED	PROPOSED
LOT AREA:	2.0 Acres		8,000 s.f. (Min)
FRONTAGE:	225 Feet		50 Feet (Min)
SETBACKS:			
FRONT:	74 Feet (Arterial) 60 Feet (Collector) 55 Feet (Minor)		20 Feet (Min)
SIDE:	20 Feet		10 Feet (Min)
REAR:	20 Feet		20 Feet (Min)

OWNER REFERENCE:
GLADY C KILBOURN
PO BOX 275
PO LANCASTER, MA

DEED REFERENCE:
REGISTRY OF DEEDS
BOOK 2922, PAGE 341

TOWN OF LANCASTER ASSESSOR'S REFERENCE

MAP 41, LOT 34B

⊕ DENOTES IRON ROD TO BE SET
⊞ DENOTES CONCRETE BOUND TO BE SET

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

JOYCE E. HASTINGS , P.L.S.

DATE

SITE DEVELOPMENT PLAN
"GOODRIDGE BROOK ESTATES"
Multi Unit & Single Family Subdivision Layout
LANCASTER, MASSACHUSETTS

GLM Engineering Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100
F: 508-429-7160
www.GLMengineering.com

DRW.: RST

JOB No. 12,274

DATE: FEBRUARY 8, 2018

SCALE: 1"= 40'

SHEET: 10 of 27

PLAN #: 27,147

REVISIONS

	1	2	3	4	5	6	7	8	9
APARTMENTS 136 UNITS	04/10/18								
PLAN LAYOUT & DRAINAGE	07/06/18								
WATER SYSTEM COMMENTS	07/25/18								
ENGINEERING COMMENTS	09/18/18								
ENGINEERING COMMENTS	11/06/18								
ENGINEERING COMMENTS	12/27/18								
FIRE ACCESS	2/13/19								
COMMENTS & LANDSCAPE	2/19/19								
COMMENTS & LANDSCAPE	3/07/19								

LOT LAYOUT 3 OF 4

FOR REGISTRY OF DEEDS USE ONLY

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LANCASTER ZONING BOARD OF APPEALS WAS RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE 20 DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

APPROVAL UNDER THE SUBDIVISION CONTROL LAW
LANCASTER BOARD OF APPEALS

TOWN CLERK

DATE

DATE :

ZONING TABLE
CLASSIFICATION: RESIDENTIAL

SUBDIVISION SCHEDULE:

	REQUIRED	PROPOSED
LOT AREA:	2.0 Acres	8,000 s.f. (Min)
FRONTAGE:	225 Feet	50 Feet (Min)
SETBACKS:		
FRONT:	74 Feet (Arterial) 60 Feet (Collector) 55 Feet (Minor)	20 Feet (Min)
SIDE:	20 Feet	10 Feet (Min)
REAR:	20 Feet	20 Feet (Min)

OWNER REFERENCE:

GLADY C. KILBOURN
PO BOX 275
SO LANCASTER, MA

DEED REFERENCE:

REGISTRY OF DEEDS
BOOK 2922, PAGE 341

TOWN OF LANCASTER ASSESSOR'S REFERENCE

MAP 41, LOT 34B

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

JOYCE E. HASTINGS , P.L.S.

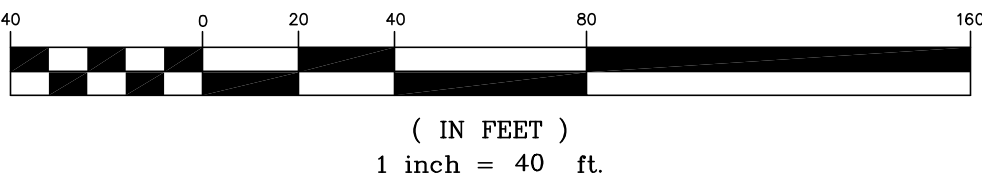
DATE

PLAN BOOK 422, No. 76

LOT SHAPE CALCULATION TABLE:

Lot	Perimeter	Area	Lot Shape	Lot	Perimeter	Area	Lot Shape
1	405.06	10241	16.02	32	389.46	9193	16.50
2	406.85	10058	16.46	33	407.63	9419	17.64
3	372.84	8057	17.25	34	501.79	15122	16.65
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5	413.41	10083	16.95	36	421.04	10595	16.73
6	392.93	8040	19.20	37	410.00	10350	16.24
7	384.15	8826	16.72	38	417.93	10219	17.09
8	395.60	8200	19.09	39	411.05	10915	15.48
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11	440.00	11200	17.29	42	401.48	10465	15.40
12	459.79	12587	16.80	43	403.11	8910	18.23
13	440.47	11203	17.32	44	385.69	8757	16.99
14	440.00	11200	17.29	45	378.14	9331	15.32
15	440.00	11200	17.29	46	451.65	11390	17.90
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18	440.00	11200	17.29	49	369.36	8395	16.25
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22	438.69	10596	18.16	53	370.00	8400	16.30
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26	396.76	9233	17.05				
27	375.26	8566	16.44				
28	370.17	8400	16.31				
29	370.00	8400	16.30				
30	370.00	8400	16.30				
31	370.00	8400	16.30				

GRAPHIC SCALE



SITE DEVELOPMENT PLAN
"GOODRIDGE BROOK ESTATES"
Multi Unit & Single Family Subdivision Layout
LANCASTER, MASSACHUSETTS

GLM Engineering Consultants, Inc.
19 EXCHANGE STREET
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www.GLMengineering.com

DRW.: RST

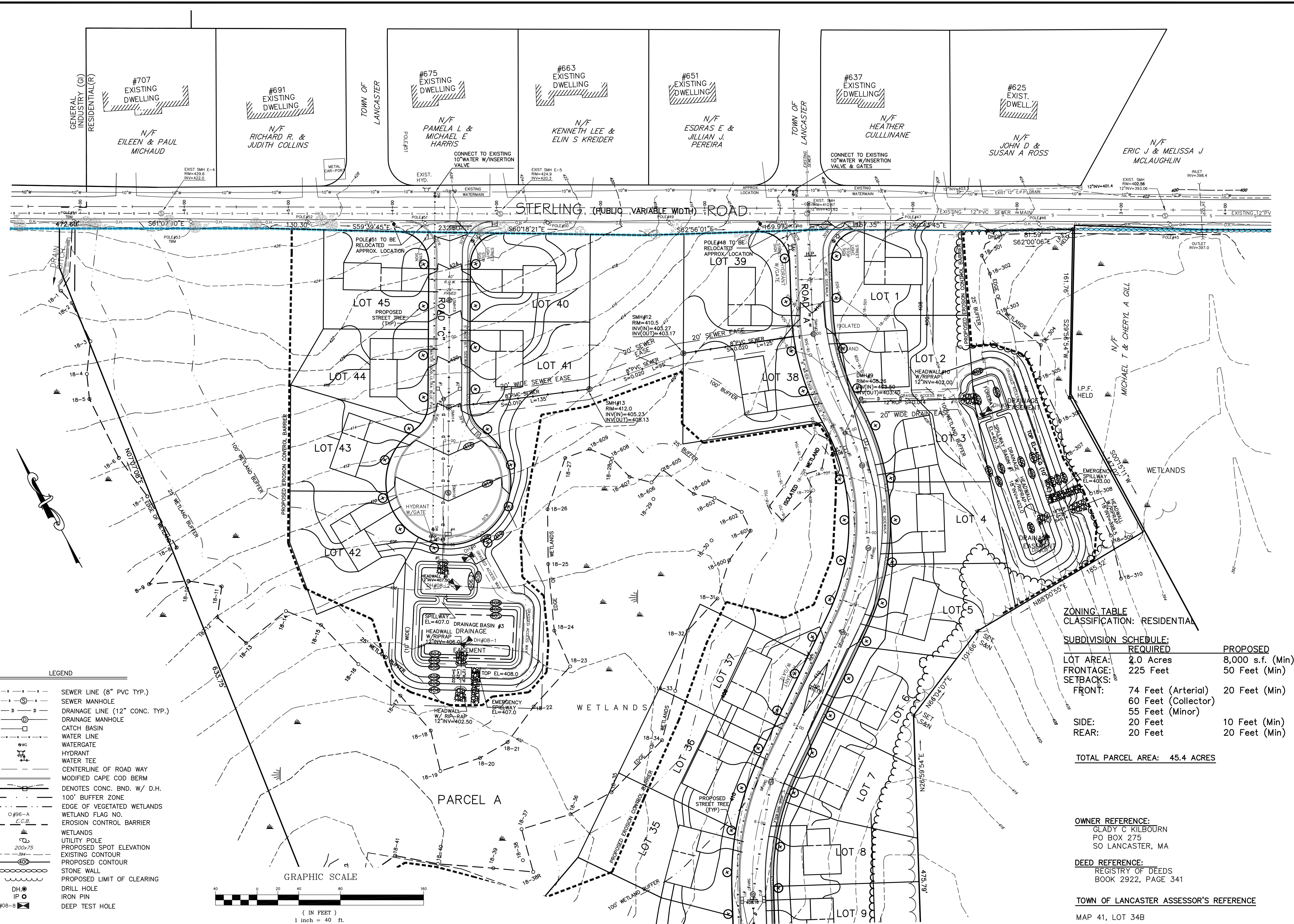
JOB No. 12,274

DATE: FEBRUARY 8, 2018

SCALE: 1"= 40'

SHEET: 11 of 27

PLAN #: 27,147



REVISIONS	
1	04/10/18 APARTMENTS 136 UNITS
2	07/06/18 PLAN LAYOUT & DRAINAGE
3	07/25/18 WATER SYSTEM COMMENTS
4	09/18/18 ENGINEERING COMMENTS
5	11/06/18 ENGINEERING COMMENTS
6	12/27/18 ENGINEERING COMMENTS
7	2/13/19 FIRE ACCESS
8	2/19/19 COMMENTS & LANDSCAPE
9	3/07/19 COMMENTS & LANDSCAPE

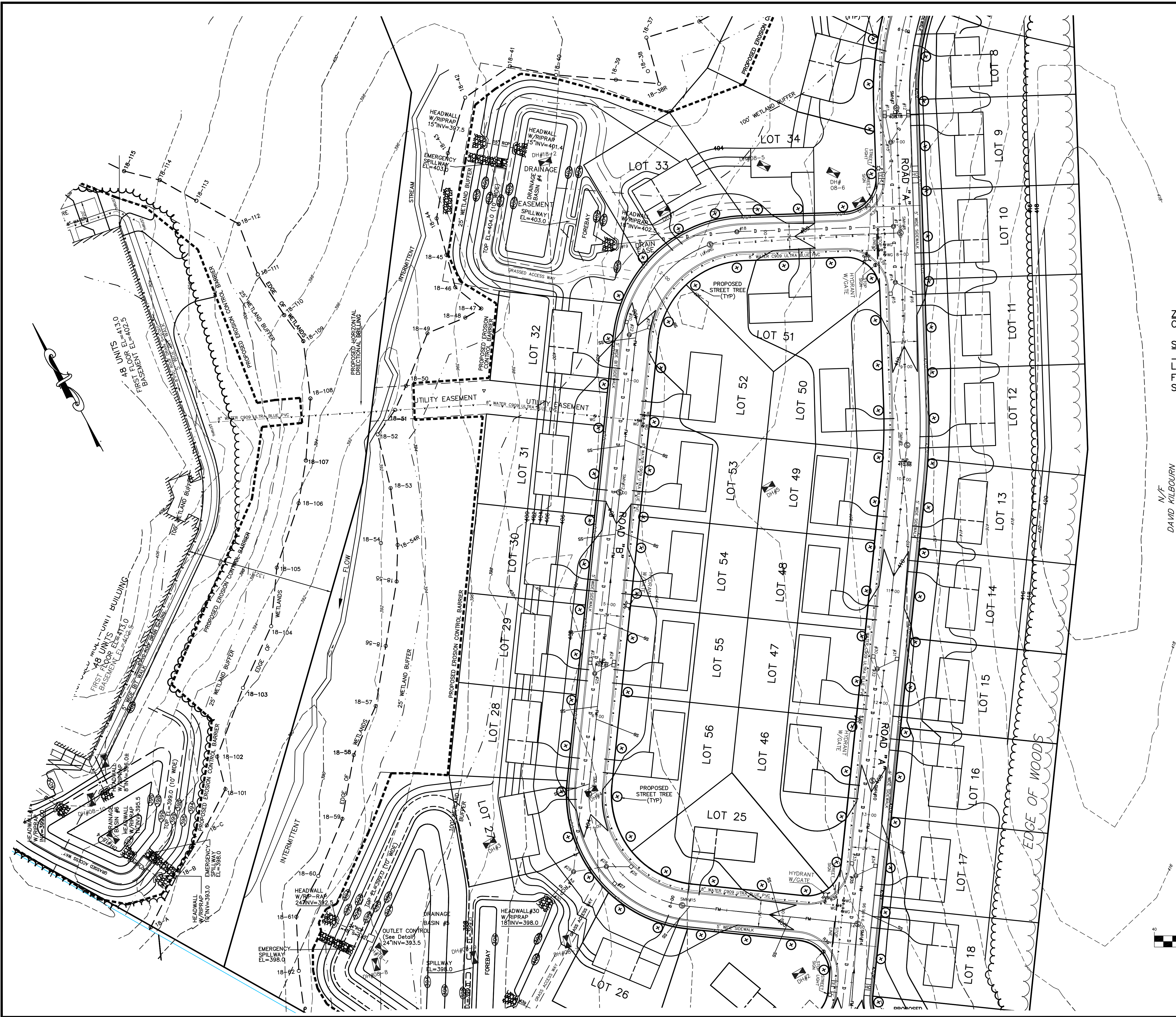
SITE DEVELOPMENT PLAN
"GOODRIDGE BROOK ESTATES"
Multi Unit & Single Family Subdivision Layout
LANCASTER, MASSACHUSETTS

PREPARED FOR:

CRESCENT BUILDERS, INC.
94 NORTH MAIN STREET
BOYLSTON MA 01563

 **GLM** Engineering
Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100
F: 508-429-7160
www.GLMengineering.com

DRW.: RST	
JOB No.	12,274
DATE: FEBRUARY 8, 2018	
SCALE:	1"= 40'
SHEET:	12 of 27
PLAN #:	27,147



TOTAL PARCEL AREA: 45.4 ACRES

OWNER REFERENCE:
GLADY C KILBOURN
PO BOX 275
SO LANCASTER, MA

DEED REFERENCE:
REGISTRY OF DEEDS
BOOK 2922, PAGE 341

TOWN OF LANCASTER ASSESSOR'S REFERENCE

MAP 41, LOT 34B

PLAN REFERENCE:
WORCESTER COUNTY REGISTRY
1) PLAN BOOK 466, PLAN No. 69
2) PLAN BOOK 422, PLAN No. 76
3) PLAN BOOK 539, PLAN No. 80
4) PLAN BOOK 763, PLAN No. 63

ZONING TABLE
CLASSIFICATION: RESIDENTIAL

SUBDIVISION	SCHEDULE:	PROPOSED
LOT AREA:	2.0 Acres	8,000 s.f. (Min)
FRONTAGE:	225 Feet	50 Feet (Min)
SETBACKS:		
FRONT:	74 Feet (Arterial) 60 Feet (Collector) 55 Feet (Minor)	20 Feet (Min)
SIDE:	20 Feet	10 Feet (Min)
REAR:	20 Feet	20 Feet (Min)

LEGEND	
	SEWER LINE (8" PVC TYP.)
	SEWER MANHOLE
	DRAINAGE LINE (12" CONC. TYP.)
	DRAINAGE MANHOLE
	CATCH BASIN
	WATER LINE
	WATERGATE
	HYDRANT
	WATER TEE
	CENTERLINE OF ROAD WAY
	MODIFIED CAPE COD BERM
	DENOTES CONC. BND. W/ D.H.
	100' BUFFER ZONE
	EDGE OF VEGETATED WETLANDS
	WETLAND FLAG NO.
	EROSION CONTROL BARRIER
	WETLANDS
	UTILITY POLE
	PROPOSED SPOT ELEVATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	STONE WALL
	PROPOSED LIMIT OF CLEARING
	DRILL HOLE
	IRON PIN
	DEEP TEST HOLE

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

SINGLE FAMILY - LAYOUT & GRADING

SITE DEVELOPMENT PLAN
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DRW.: RST	
JOB No.	12,274
DATE:	FEBRUARY 8, 2018
SCALE:	1"= 40'
SHEET:	13 of 27
PLAN #:	27,147

REVISIONS	
1	04/10/18 APARTMENTS 136 UNITS
2	07/06/18 PLAN LAYOUT & DRAINAGE
3	07/25/18 WATER SYSTEM COMMENTS
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7	2/13/19 FIRE ACCESS
8	2/19/19 COMMENTS & LANDSCAPE
9	3/07/19 COMMENTS & LANDSCAPE

TOTAL PARCEL AREA: 45.4 ACRES

OWNER REFERENCE:
GLADY C KILBOURN
PO BOX 275
SO LANCASTER, MA

DEED REFERENCE:
REGISTRY OF DEEDS
BOOK 2922, PAGE 341

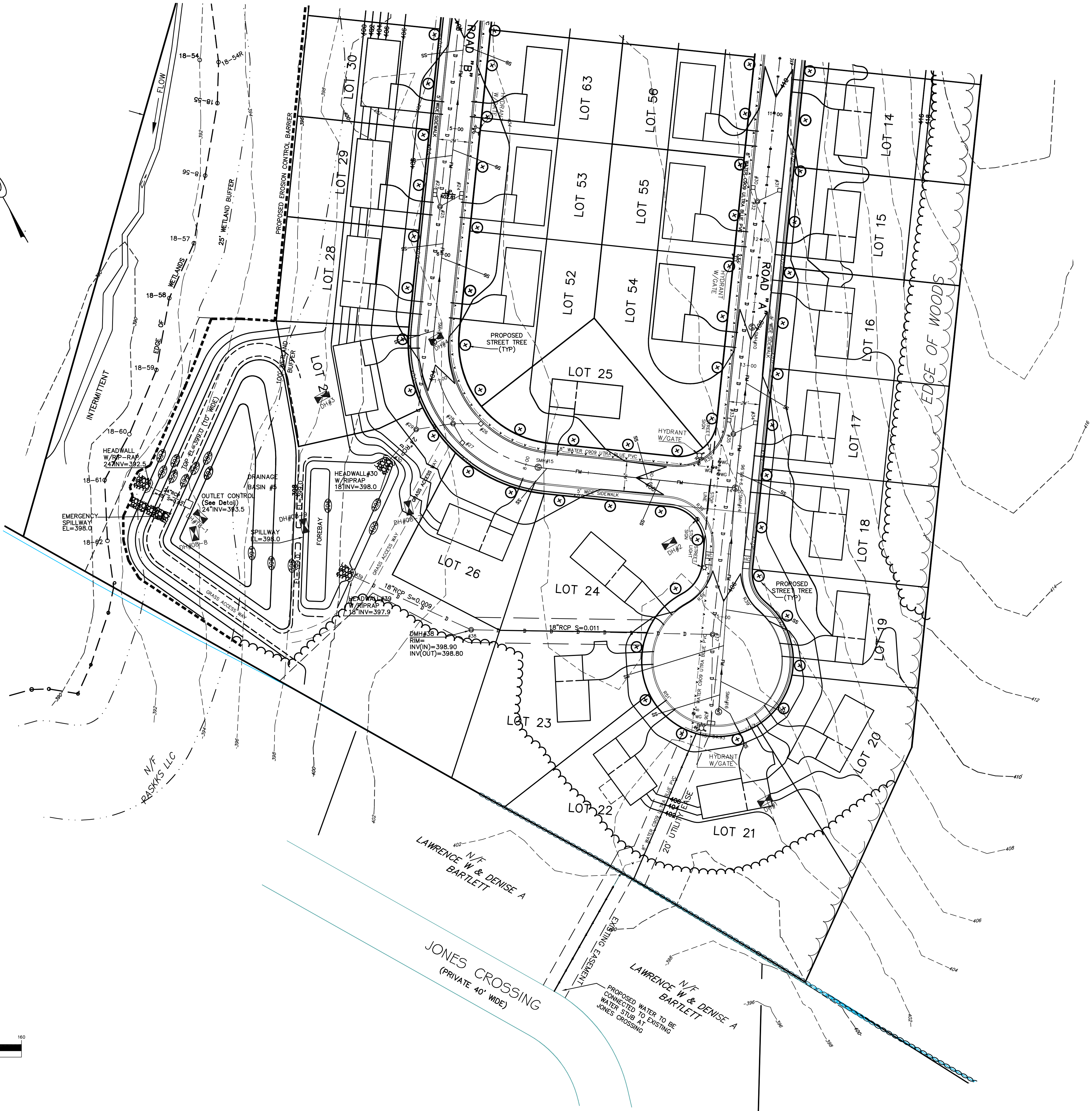
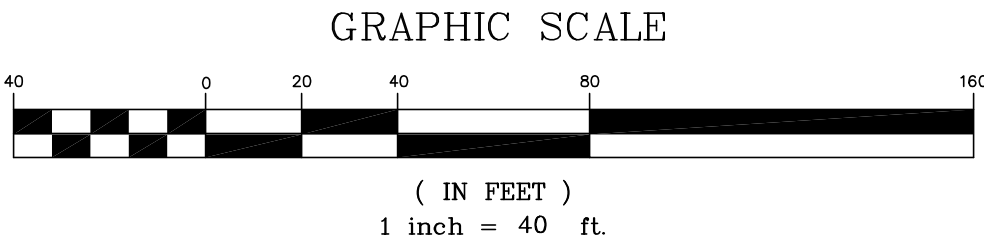
TOWN OF LANCASTER ASSESSOR'S REFERENCE

MAP 41, LOT 34B

PLAN REFERENCE:

WORCESTER COUNTY REGISTRY
1) PLAN BOOK 466, PLAN No. 69
2) PLAN BOOK 422, PLAN No. 76
3) PLAN BOOK 539, PLAN No. 80
4) PLAN BOOK 763, PLAN No. 63

- LEGEND
- SEWER LINE (8" PVC TYP.)
 - SEWER MANHOLE
 - DRAINAGE LINE (12" CONC. TYP.)
 - DRAINAGE MANHOLE
 - CATCH BASIN
 - WATER LINE
 - WATERGATE
 - HYDRANT
 - WATER TEE
 - CENTERLINE OF ROAD WAY
 - MODIFIED CAPE COD BERM
 - DENOTES CONC. BND. W/ D.H.
 - 100' BUFFER ZONE
 - EDGE OF VEGETATED WETLANDS
 - WETLAND FLAG NO.
 - EROSION CONTROL BARRIER
 - WETLANDS
 - UTILITY POLE
 - PROPOSED SPOT ELEVATION
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - STONE WALL
 - PROPOSED LIMIT OF CLEARING
 - DRILL HOLE
 - IRON PIN
 - DEEP TEST HOLE

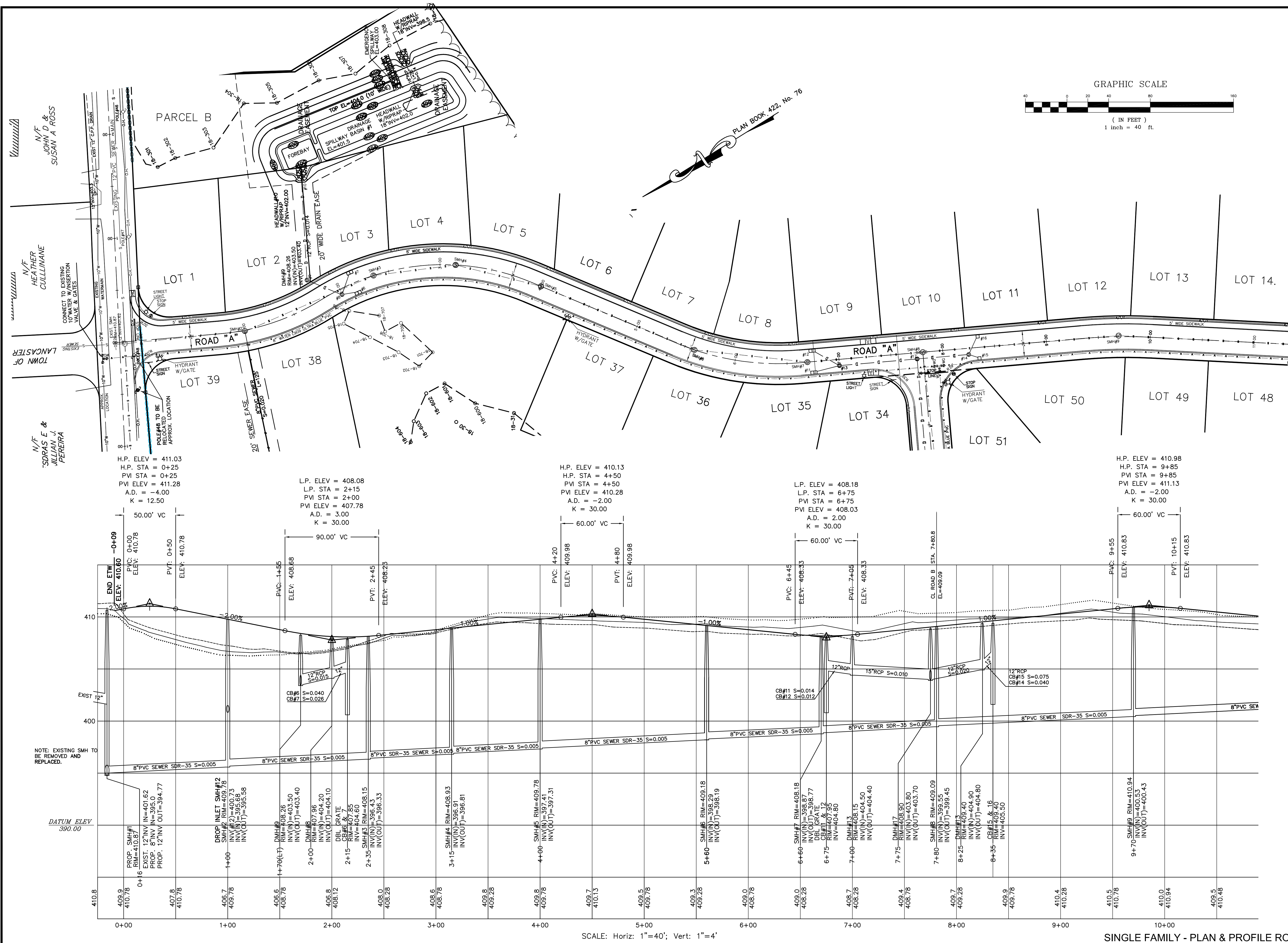


SITE DEVELOPMENT PLAN
"GOODRIDGE BROOK ESTATES"
Multi Unit & Single Family Subdivision Layout
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F: 508-429-7160
www.GLMengineering.com

DRW.: RST
JOB No. 12,274
DATE: FEBRUARY 8, 2018
SCALE: 1"= 40'
SHEET: 14 of 27
PLAN #: 27,147

REVISIONS	
1	04/10/18 APARTMENTS 136 UNITS
2	07/06/18 PLAN LAYOUT & DRAINAGE
3	07/25/18 WATER SYSTEM COMMENTS
4	09/18/18 ENGINEERING COMMENTS
5	11/06/18 ENGINEERING COMMENTS
6	12/27/18 ENGINEERING COMMENTS
7	2/13/19 FIRE ACCESS
8	2/19/19 COMMENTS & LANDSCAPE
9	3/07/19 COMMENTS & LANDSCAPE



REVISIONS	
1	04/10/18 APARTMENTS 136 UNITS
2	07/06/18 PLAN LAYOUT & DRAINAGE
3	07/25/18 WATER SYSTEM COMMENTS
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6	12/27/18 ENGINEERING COMMENTS
7	2/13/19 FIRE ACCESS
8	2/19/19 COMMENTS & LANDSCAPE
9	3/07/19 COMMENTS & LANDSCAPE

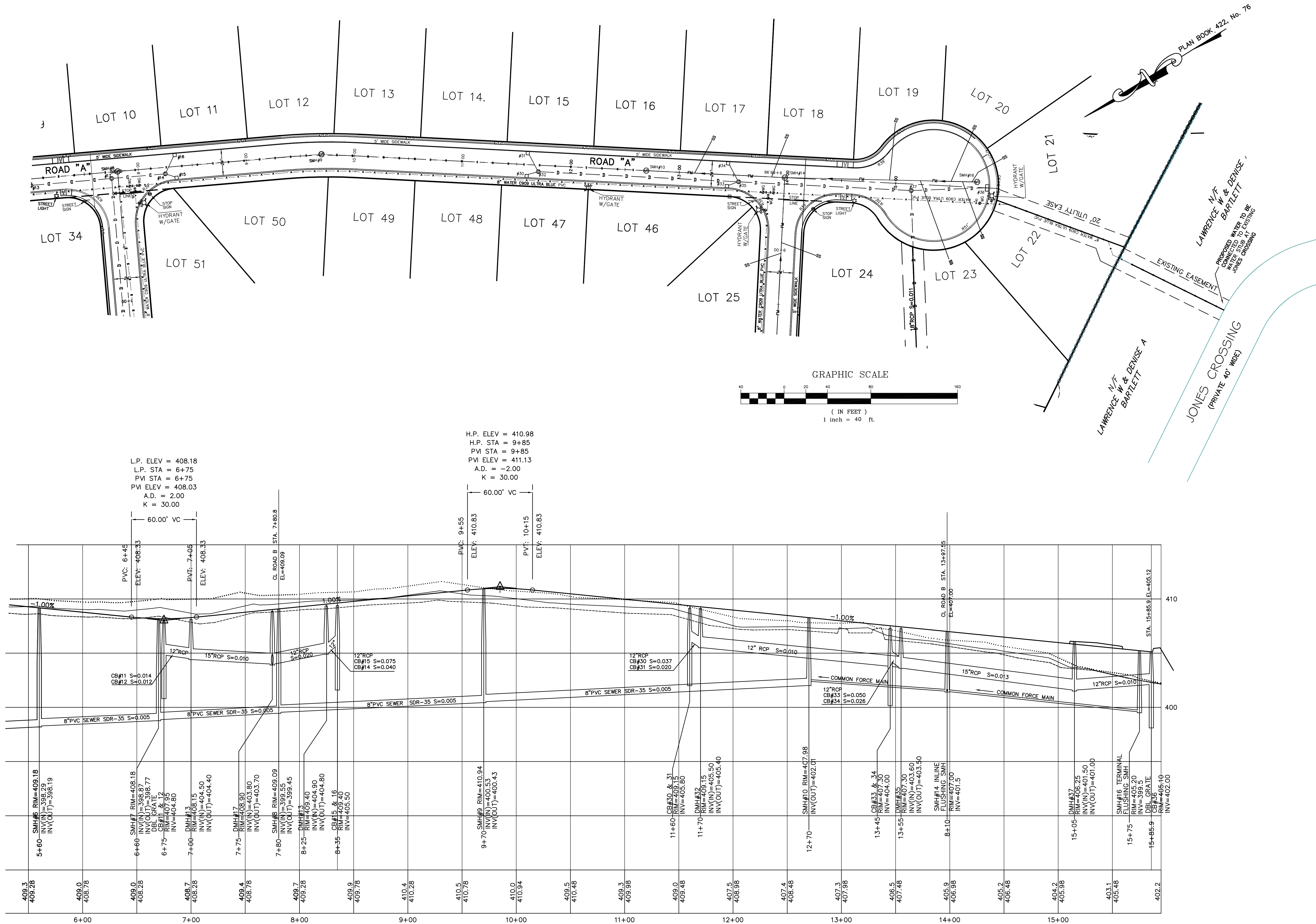
**SITE DEVELOPMENT PLAN
"GOODRIDGE BROOK ESTATES"
Multi Unit & Single Family Subdivision Layout
LANCASTER, MASSACHUSETTS**

PREPARED FOR:

CRESCENT BUILDERS, INC.
94 NORTH MAIN STREET
BOYLSTON MA 01583

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DRW.: RST	
JOB No.	12,274
DATE:	FEBRUARY 8, 2018
SCALE:	1"= 40'
SHEET:	15 of 27
PLAN #:	27,147



SCALE: Horiz: 1"=40'; Vert: 1"=4'

SINGLE FAMILY - PLAN & PROFILE ROAD A

REVISIONS	
1	04/10/18 APARTMENTS 136 UNITS
2	07/06/18 PLAN LAYOUT & DRAINAGE
3	07/25/18 WATER SYSTEM COMMENTS
4	09/18/18 ENGINEERING COMMENTS
5	11/06/18 ENGINEERING COMMENTS
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9	3/07/19 COMMENTS & LANDSCAPE

SITE DEVELOPMENT PLAN

"GOODRIDGE BROOK ESTATES"

Multi Unit & Single Family Subdivision Layout

LANCASTER, MASSACHUSETTS

PREPARED FOR:
CRESCENT BUILDERS, INC.
94 NORTH MAIN STREET
BOYLSTON MA 01583

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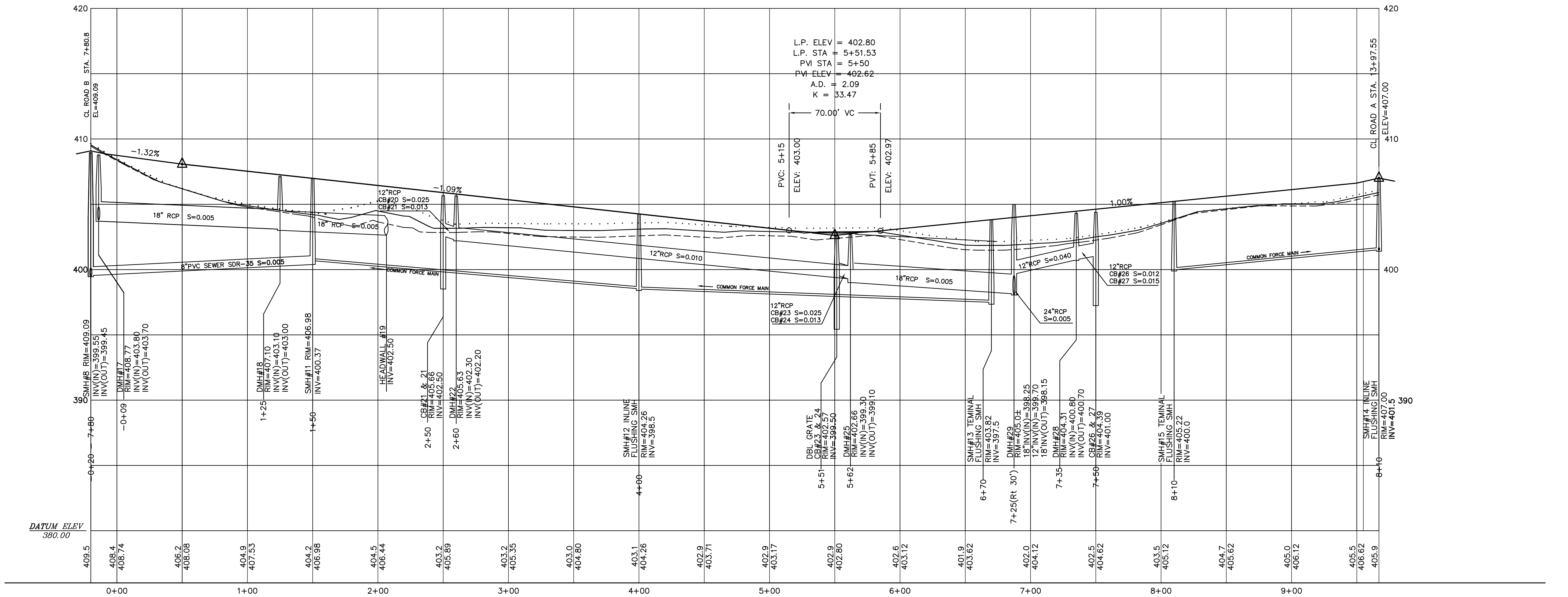
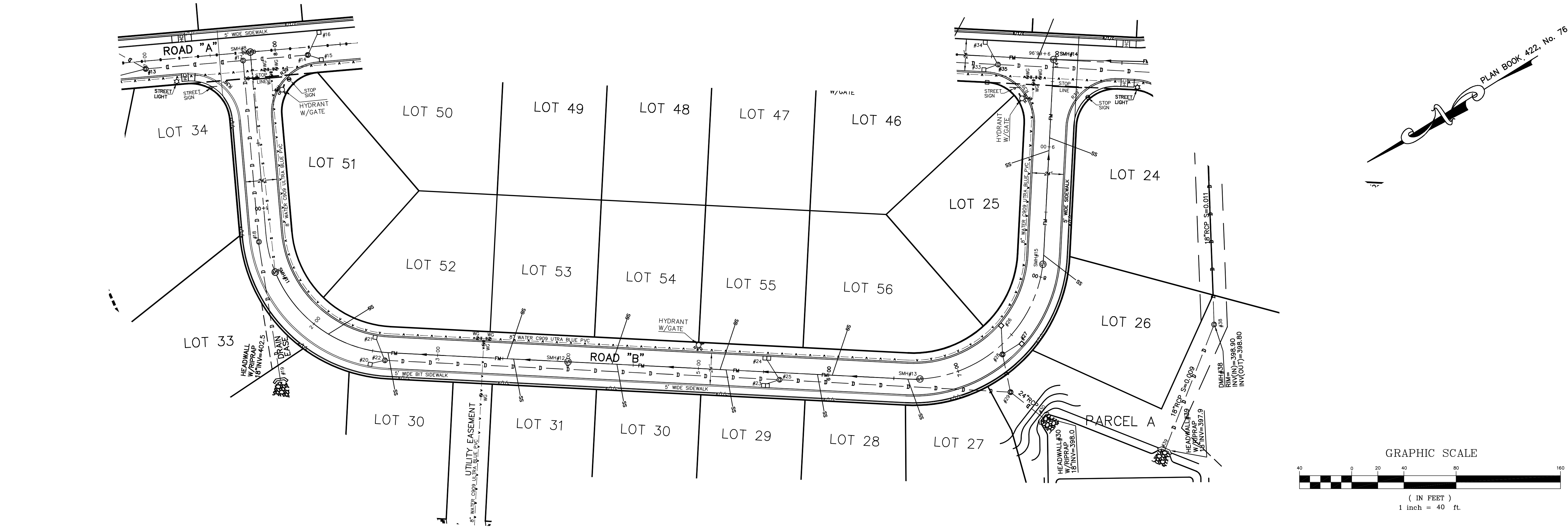
JOB No. 12,274

DATE: FEBRUARY 8, 2018

SCALE: 1"= 40'

SHEET: 16 of 27

PLAN #: 27,147



SCALE: Horiz: 1"=40'; Vert: 1"=4'

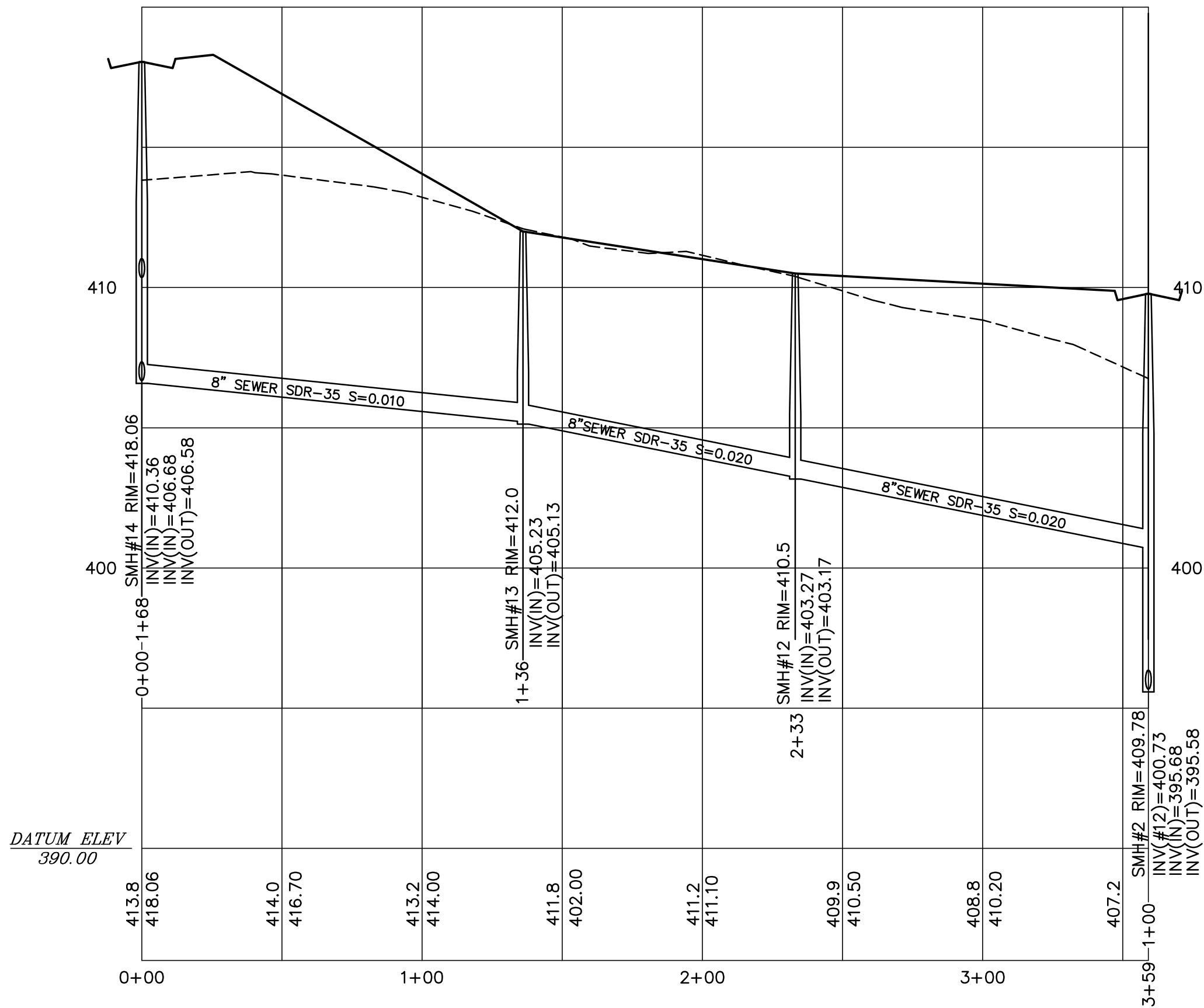
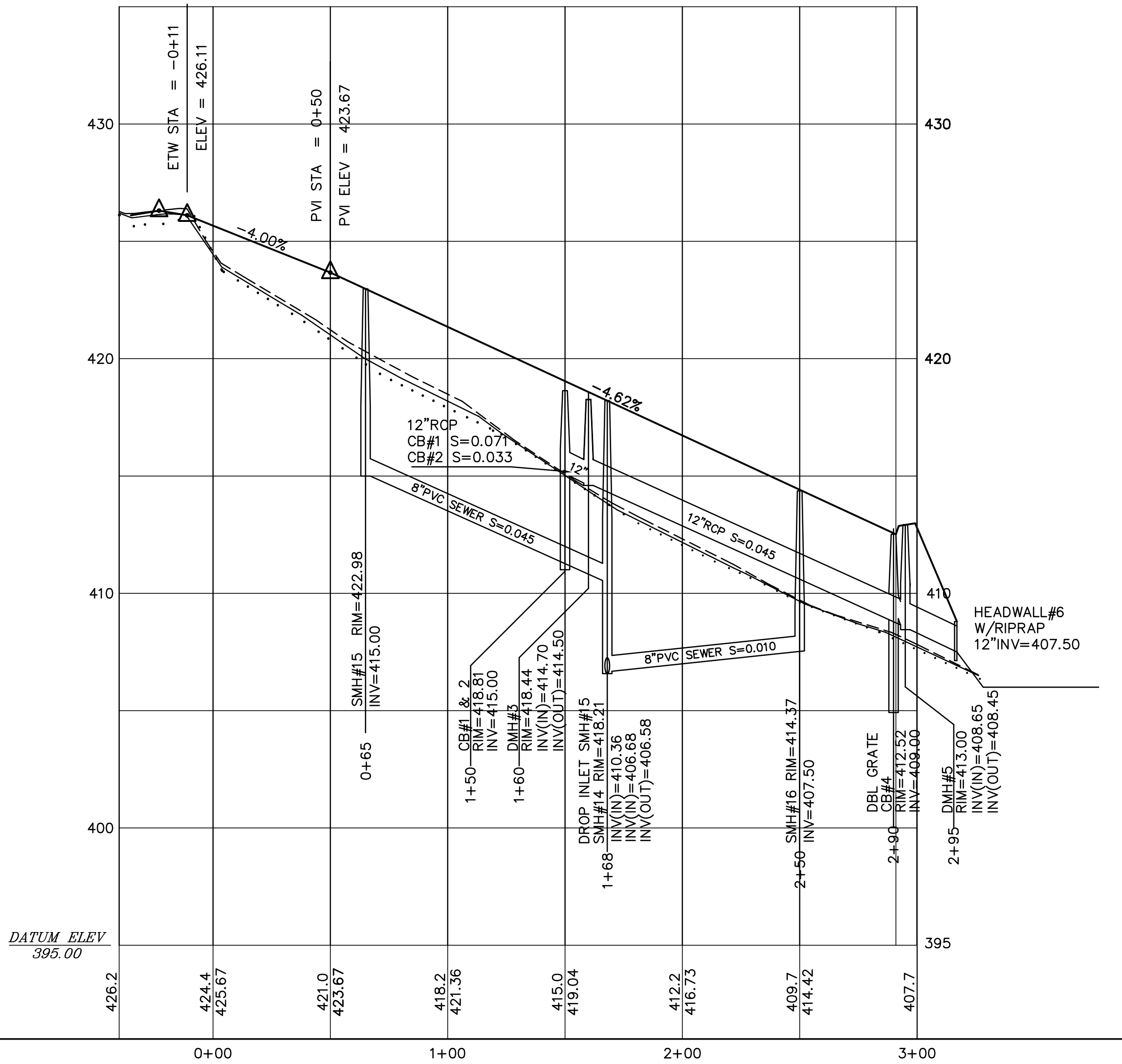
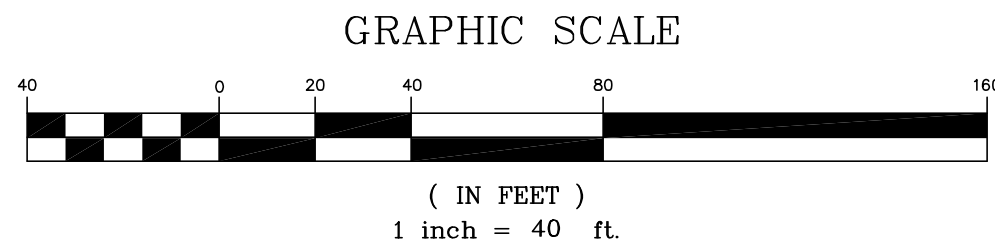
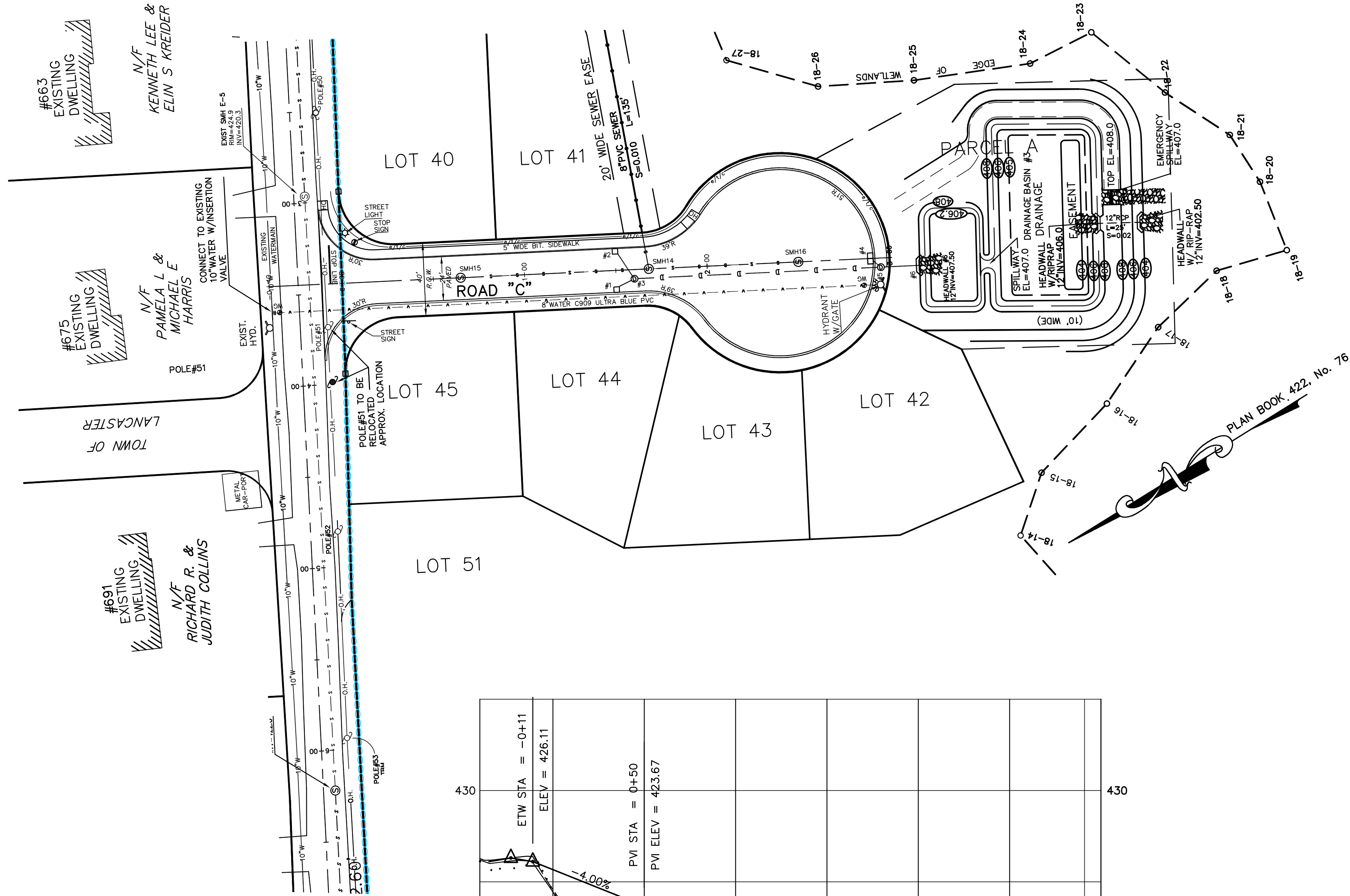
SINGLE FAMILY - PLAN & PROFILE ROAD B

SITE DEVELOPMENT PLAN
"GOODRIDGE BROOK ESTATES"
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LANCASTER, MASSACHUSETTS

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www.GLMengineering.com

DRW.:	RST
JOB No.	12,274
DATE:	FEBRUARY 8, 2018
SCALE:	1"= 40'
SHEET:	17 of 27
PLAN #:	27,147

REVISIONS	
1	04/10/18 APARTMENTS 136 UNITS
2	07/06/18 PLAN LAYOUT & DRAINAGE
3	07/25/18 WATER SYSTEM COMMENTS
4	09/18/18 ENGINEERING COMMENTS
5	11/06/18 ENGINEERING COMMENTS
6	12/27/18 ENGINEERING COMMENTS
7	2/13/19 FIRE ACCESS
8	2/19/19 COMMENTS & LANDSCAPE
9	3/07/19 COMMENTS & LANDSCAPE



SCALE: Horiz: 1"=40'; Vert: 1"=4'

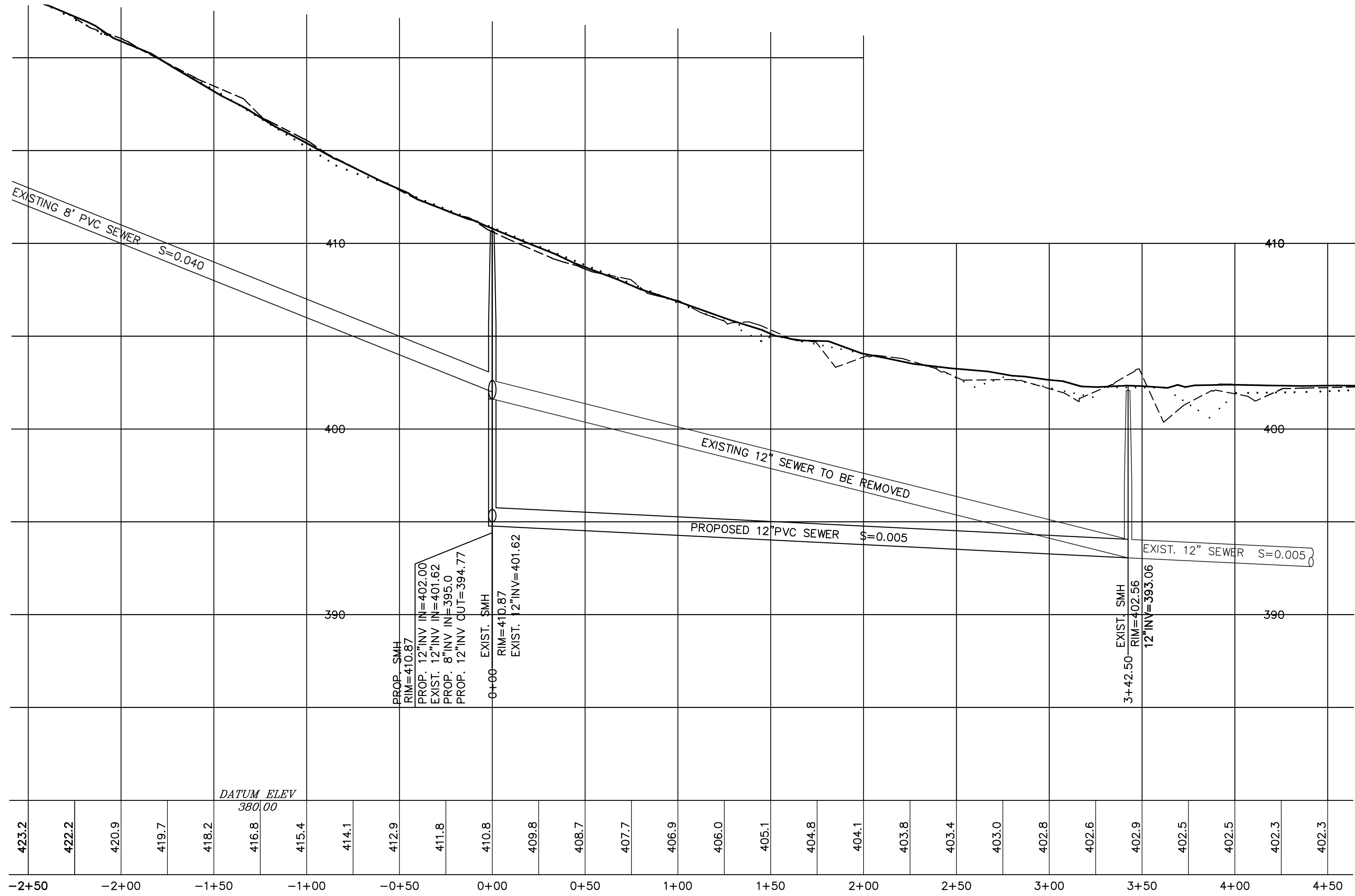
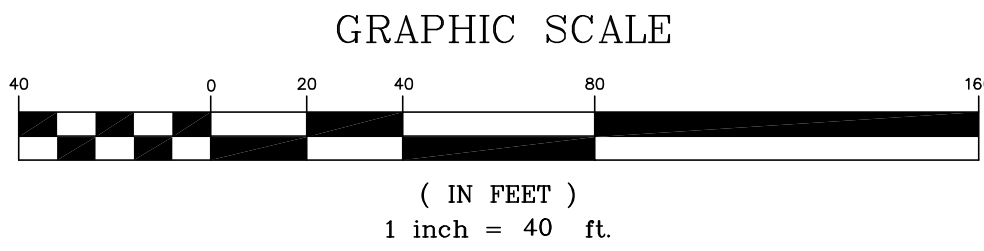
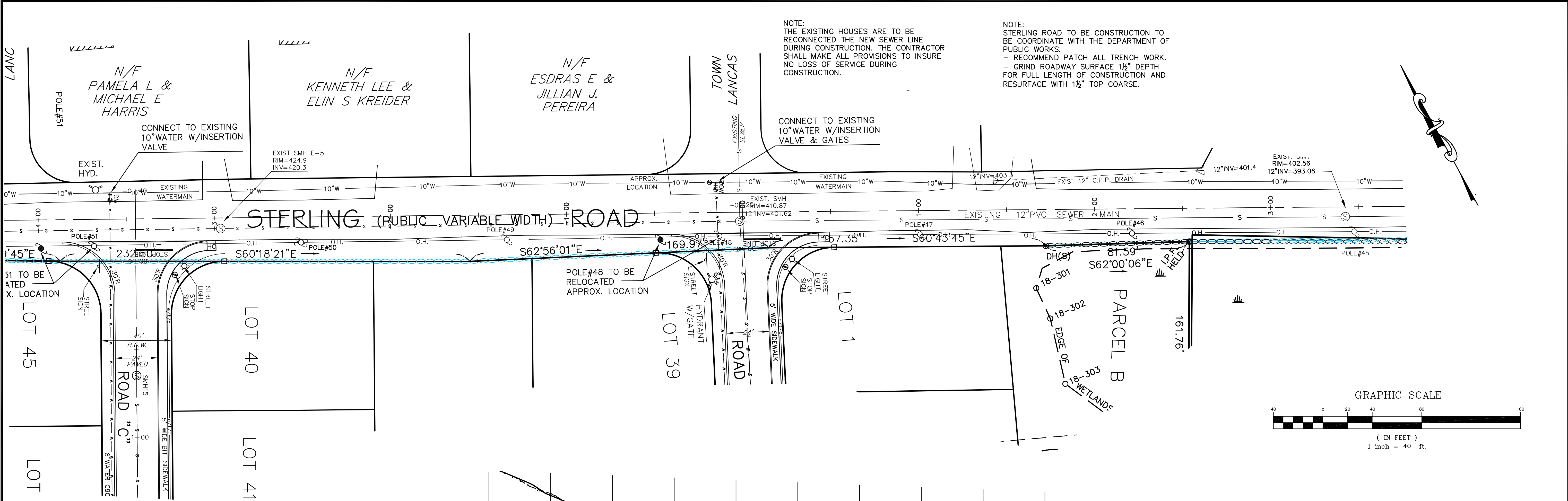
SINGLE FAMILY - PLAN & PROFILE ROAD C

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DRW.: RST	
JOB No.	12,274
DATE:	FEBRUARY 8, 2018
SCALE:	1"= 40'
SHEET:	18 of 27
PLAN #:	27,147

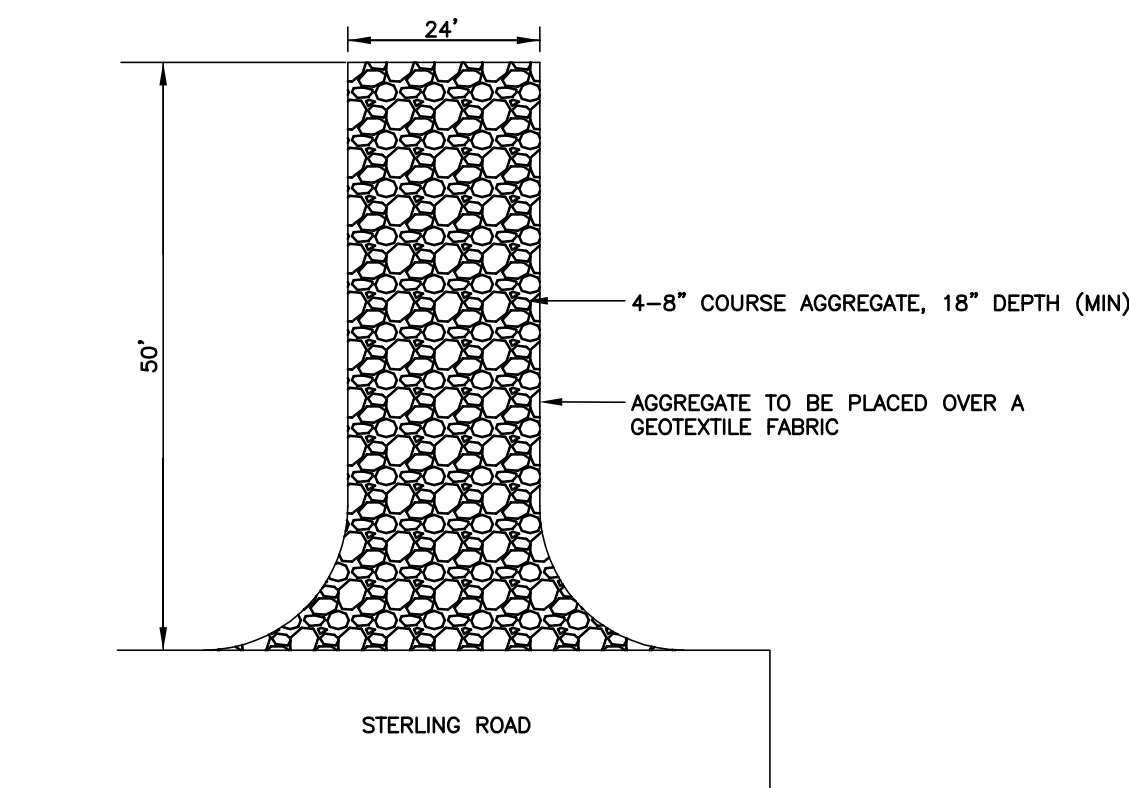
REVISIONS	
1	04/10/18 APARTMENTS 136 UNITS
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8	2/19/19 COMMENTS & LANDSCAPE
9	3/07/19 COMMENTS & LANDSCAPE



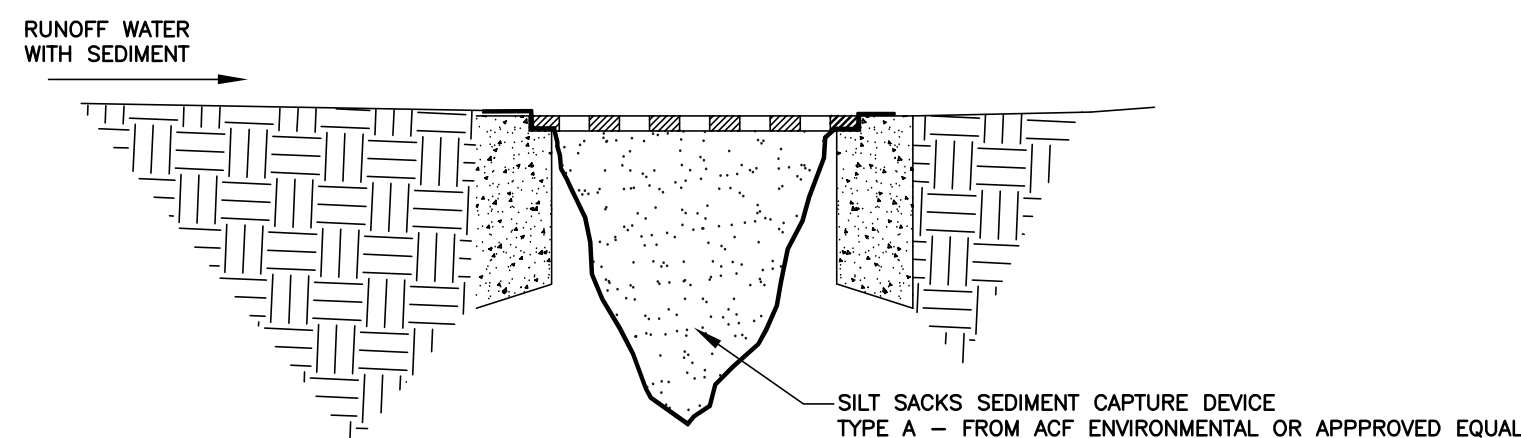
SCALE: Horiz: 1"=40'; Vert: 1"=4'

SINGLE FAMILY - PLAN & PROFILE STERLING ROAD

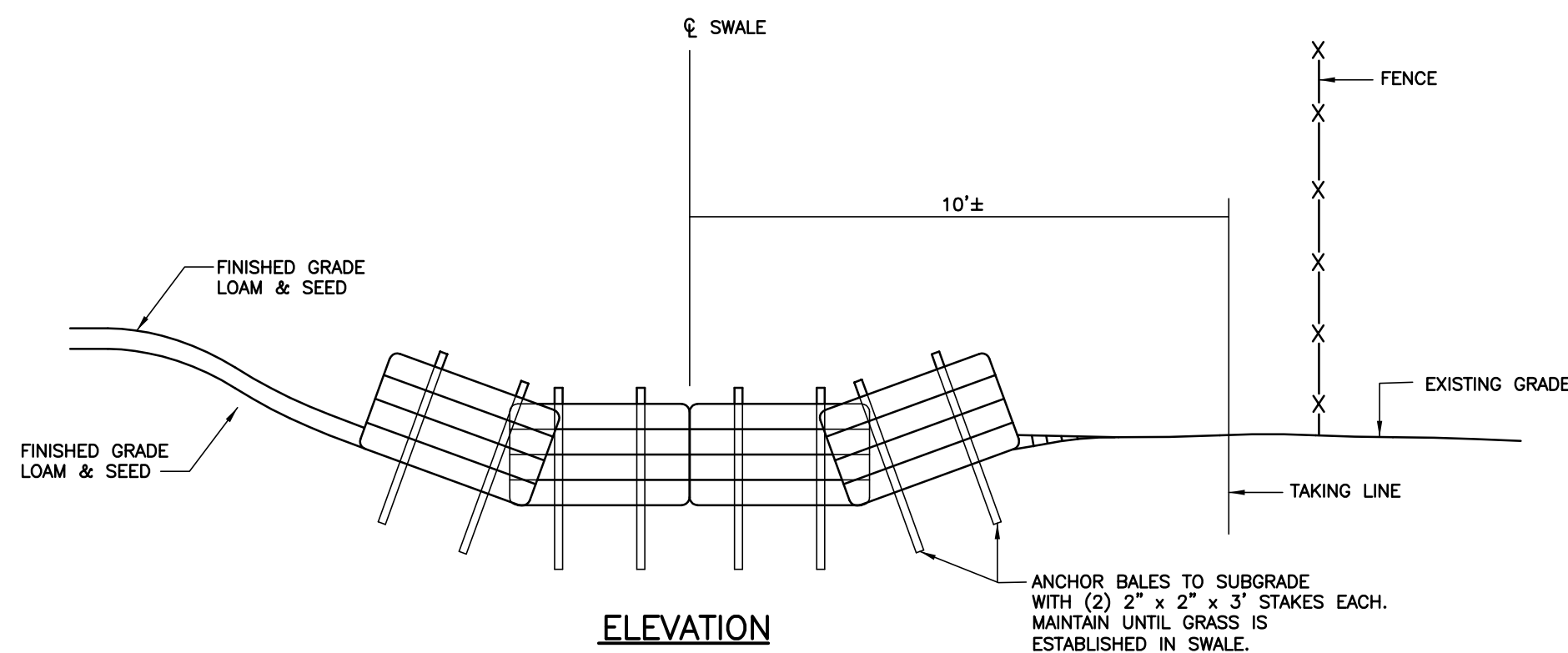
SITE DEVELOPMENT PLAN "GOODRIDGE BROOK ESTATES" Multi Unit & Single Family Subdivision Layout LANCASTER, MASSACHUSETTS PREPARED FOR: CRESCENT BUILDERS, INC. 94 NORTH MAIN STREET BOYLSTON MA 01583						REVISIONS									
						1	04/10/18	APARTMENTS 136 UNITS							
						2	07/06/18	PLAN LAYOUT & DRAINAGE							
						3	07/25/18	WATER SYSTEM COMMENTS							
						4	09/18/18	ENGINEERING COMMENTS							
						5	11/06/18	ENGINEERING COMMENTS							
						6	12/27/18	ENGINEERING COMMENTS							
						7	2/13/19	FIRE ACCESS							
						8	2/19/19	COMMENTS & LANDSCAPE							
						9	3/07/19	COMMENTS & LANDSCAPE							
GLM Engineering Consultants, Inc.		19 EXCHANGE STREET HOLLISTON, MA 01746 P: 508-429-1100 F: 508-429-7160 www.GLMengineering.com		DRW.: RST		JOB No. 12,274		DATE: FEBRUARY 8, 2018		SCALE: 1"= 40'		SHEET: 19 of 27		PLAN #: 27,147	



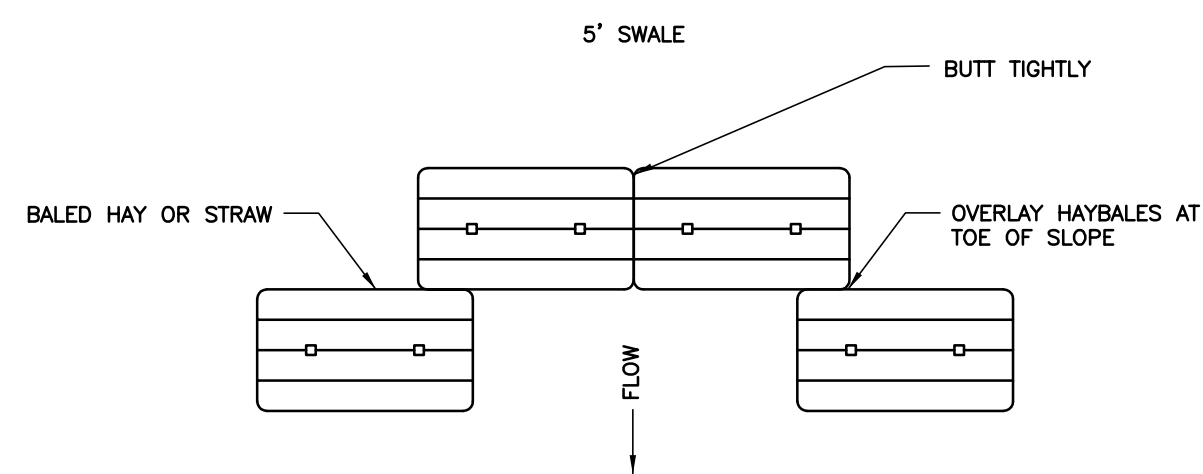
TRAP ROCK APRON
CONSTRUCTION ENTRANCE
NOT TO SCALE



SILT SACK CATCH BASIN INLET
NOT TO SCALE



ELEVATION



PLAN

SEDIMENT CHECK DAM DETAIL
N.T.S.

EROSION CONTROL MAINTENANCE:

THE CONTRACTOR SHALL HAVE ON THE SITE, AN ADEQUATE QUANTITY OF SUPPLEMENTAL FILTER MITT AND STAKES TO BE USED FOR CONTROL OF EMERGENCY EROSION PROBLEMS. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER A STORM EVENT OF 1" INCH OR GREATER.

DEWATERING:

PUMPING AND DEWATERING SHALL BE DONE IN A MANNER WHICH WILL NOT DISCHARGE ANY SILT AND SEDIMENT INTO A RESOURCE AREA. DISCHARGES FROM A DEWATERING CONSTRUCTION PROCEDURE WILL BE FILTERED THROUGH A SILTATION BASIN CONSTRUCTED UPLAND FROM THE WORK SITE. THE SILTATION BASIN SHALL BE A DEPRESSION SURROUNDED BY A HAYBALE DIKE OR SILT FENCE. OVERFLOW FROM THE BASIN SHALL BE PLANNED TO BE LOCATED OVER THICKLY AND NATURALLY MULCHED UPLAND AREA. ALL BASINS SHALL BE LOCATED AT LEAST 100 FEET UPSLOPE FROM ANY WETLAND RESOURCE AREA.

STOCKPILING:

ALL STOCKPILES AREAS SHALL BE SECURED AROUND THE PERIMETER WITH FILTER MITT BARRIER.

EROSION AND SEDIMENTATION CONTROL:

1. PRIOR TO ANY DISTURBANCE OR ALTERATIONS ON ANY AREA ON THE SITE. THE FILTER MITT SEDIMENT BARRIER SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE SITE PLAN.

2. BARRIERS SHALL BE CONSTRUCTED AS SHOWN ON THE FILTER MITT DETAIL WITH CONSTRUCTION FENCE DETAIL ABOVE.

3. ONCE INSTALLED, THE FILTER MITT SEDIMENT BARRIERS SHALL BE MAINTAINED IN PLACE UNTIL ALL AREAS UPGRADIENT FROM THE BARRIERS HAVE BEEN STABILIZED AS SPECIFIED HEREIN. UPON COMPLETION AND STABILIZATION OF THE PROJECT, THE FILTER MITT AND FENCE SHALL BE REMOVED.

4. THE SILT FENCE IS INTENDED TO ACT AS A LIMIT OF DISTURBANCE. ANY LAND DOWN GRADIENT FROM THE FENCE ACCIDENTALLY DISTURBED SHALL BE IMMEDIATELY REPAIRED AND RESTORED TO ORIGINAL CONDITION.

5. EROSION CONTROL MEASURES SHALL BE MONITORED ON A DAILY BASIS, OR AS NEEDED, AND BE REINFORCED, REPAIRED, OR REPLACED WHEN NEEDED, PER JUDGEMENT OF THE SITE FOREMAN AND/OR TOWN OF LANCASTER REPRESENTATIVE.

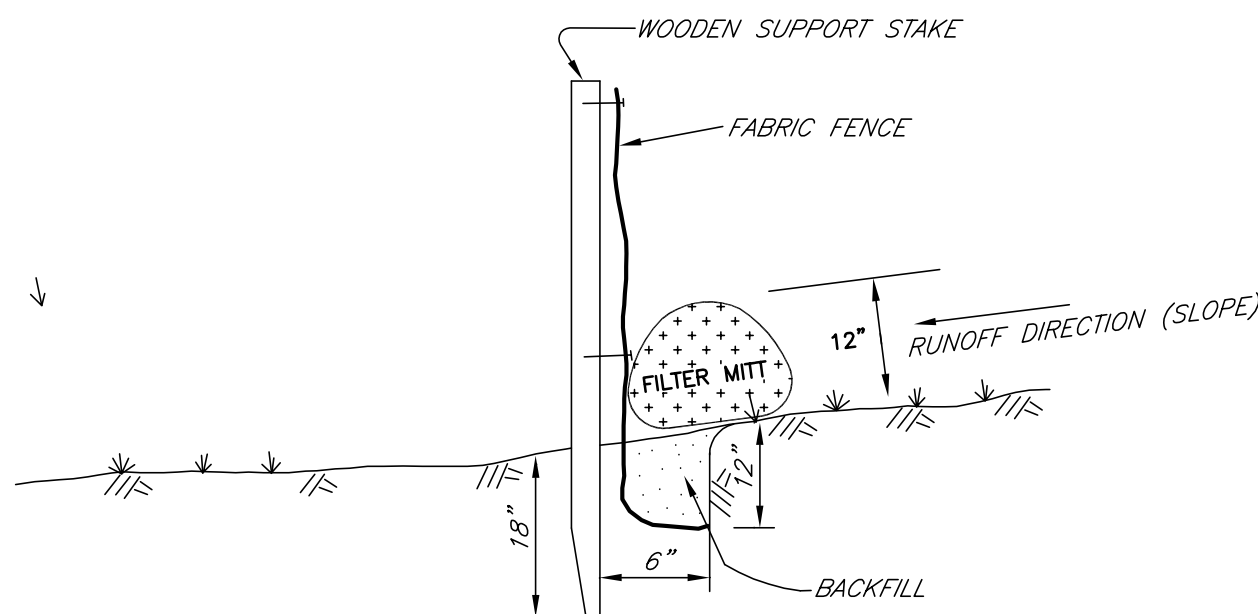
6. TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITIES TEMPORARILY CEASE FOR AT LEAST 30 DAYS. AREAS SHALL BE STABILIZED WITH TEMPORARY SEED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A VEGETATIVE COVER, DISTURBED AREAS SHALL BE MULCHED AND THEN SEEDED WHEN WEATHER CONDITIONS ALLOW.

7. THE FIRST ONE-HUNDRED (100) FEET OF THE PROPOSED DRIVEWAY ENTRANCE AT STERLING ROAD SHALL BE COVERED WITH TWELVE (12) INCHES OF 4 - 8 INCH CRUSHED STONE TO STABILIZE THE AREA.

8. WATER SPRAYING SHALL BE UTILIZED ON ALL DISTURBED AREAS DURING DRY WEATHER TO PREVENT DUST. A WATER TRUCK SHALL BE KEPT ON SITE AT ALL TIMES DURING THE DURING THE SUMMER MONTHS OF CONSTRUCTION.

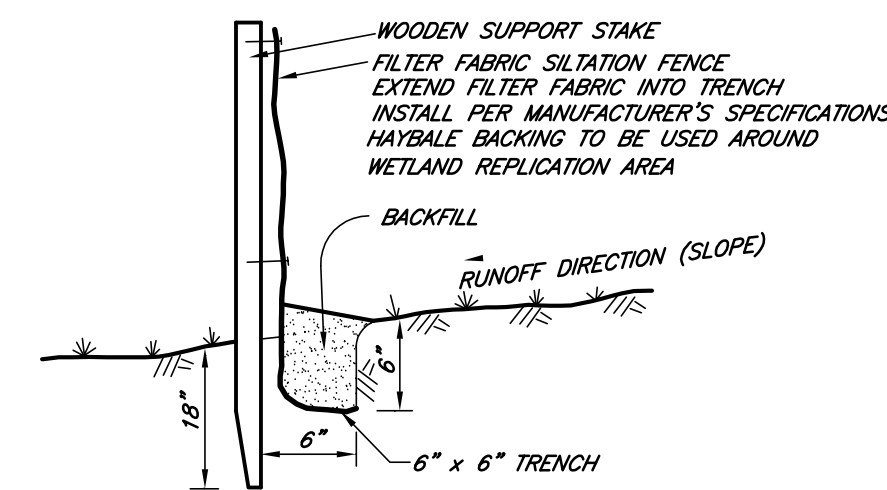
9. FOLLOWING CONSTRUCTION OF THE CATCH BASIN STRUCTURES, A SILT SACK SHALL BE PLACE IN EACH STRUCTURE TO PREVENT SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM. (SEE DETAIL)

NOTE:
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF LANCASTER CONSTRUCTION STANDARDS AND SPECIFICATIONS.



EROSION CONTROL BARRIER
WITH FILTER MITT

TO BE USED IN AREAS WITHIN 25' OF WETLAND DELINEATION



EROSION CONTROL BARRIER
WITHOUT FILTER MITT

TO BE USED IN AREAS OUTSIDE OF 25'

REVISIONS		APARTMENTS 136 UNITS
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2	07/06/18	WATER SYSTEM COMMENTS
3	07/25/18	ENGINEERING COMMENTS
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"GOODRIDGE BROOK ESTATES"
Multi Unit & Single Family Subdivision Layout
LANCASTER, MASSACHUSETTS

PREPARED FOR:
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94 NORTH MAIN STREET
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