

TOWN of LANCASTER
COMMUNITY PRESERVATION ACT COMMITTEE
PROJECT APPLICATION FORM -- Fiscal Year 2023
Submission Due Date: December 15, 2022

Please Note: Prior to submission of a proposal, it is strongly recommended that you contact the Community Preservation Act Committee to discuss eligibility of the project and to ask or answer any questions. CPC Chair, Linnea Lakin Servey can be reached at CPC@lanasterma.net

Applicant's Information:

Name: Joseph J. Mulé	Submission Date: 12 December 2023
Address: Thayer Memorial Library 717 Main Street Lancaster, MA 01523	Purpose: (Please select all that apply)
	<input type="checkbox"/> Open Space
	<input type="checkbox"/> Affordable Housing
Phone: 978-368-8928 EXT. 3	<input checked="" type="checkbox"/> Historic Preservation
E-mail: Jmule@LancasterMA.gov	<input type="checkbox"/> Outdoor Recreation

Town: Town of Lancaster **Committee:** The Board of Trustees of the Thayer Memorial Library

CPA Project Name: Historic Wing Casement Windows Restoration

CPA Project Address: 717 Main Street, Lancaster, MA 01523

Amount of CPA Funding Requested: \$25,000

Project Summary: In the space below, please provide a brief description of the project. Attach any supporting materials such as drawings, photos, maps, etc. Attach additional pages if needed.

In the Library's Historic Wing exists seven pairs of casement windows. Through fundraising, the Library has preserved one set and is safeguarding two other groups of windows. Four sets of windows remain, and this application seeks to restore two.

Appendices 1 and 2 to this application are the following:

Exterior conditions Assessment of the Thayer Memorial Library was written by Spencer, Sullivan & Vogt on 18 November 2020.

At the time of the Report, all casement windows mentioned are scheduled for preservation within two years. With the passing of November 2022, only one set of windows is preserved.

WINDOW RESTORATION SERVICES RFP# 2023-003 prepared by Spencer Preservation Group.

The project of preserving two sets of casement windows on the east side, which this application addresses, is like those described in the RFP on the Library's west side.

There are two other sets of casement windows on the north side of the Historic Wing that require restoration as well. However, given their dimensions and design features, a new scope of work and cost estimate are necessary before the project can continue.

TOWN of LANCASTER
COMMUNITY PRESERVATION ACT COMMITTEE
PROJECT APPLICATION FORM -- Fiscal Year 2023
Submission Due Date: December 15, 2022

Estimated Date for the start of the Project:

This project is close to “shovel-ready.” However, M.G.L. c. 7C, §§48-58 - Design Services for Public Building Projects and M.G.L. Chapter 30 and 149, Section AJA- 1/2 require the Library to go out for bids to select a qualified vendor, which could take 33 days once submitted.

The timing of the project timeline may change if no qualified vendors respond to the first RFP. In this case, the Library would go out for bid a second time.

Estimated Date for Completion of the Project:

This project could be completed in approximately two hundred days after selecting a qualified vendor.

Budget Summary: In the table below, please provide a summary of the budget for the project. Include funding sources, total cost estimates, and other information that will assist the CPA Committee in its deliberations. Attach additional pages if needed.

Fiscal Year	CPA Funds Request	Other Fund Sources	Total Estimated Cost
2023	\$25,000	\$10,000	\$35,000
2024			
2025			
2026			
2027			
Total:	\$25,000	\$10,000	\$35,000

Selection Criteria:

The Lancaster Community Preservation Plan has established criteria for selecting appropriate and worthwhile CPA Projects for recommendation to Town Meeting. Those objectives for each type of project are listed in the CPA Plan and are available at:

<https://www.ci.lancaster.ma.us/community-preservation-act-committee>

Please answer as many of the following questions, which are based upon the selection criteria, as possible. Attach additional pages if needed.

How does this project benefit or add value to Lancaster?

Thayer Memorial Library is perhaps the oldest Civil War Memorial Library in the country, built in 1868. Children’s books have been a part of the Library collection even longer. In 1862, the Town donated several collections of the school district libraries to the newly formed Lancaster Town Library.

- In 1903, the first steps were taken toward opening the Library’s closed stacks to the public.

TOWN of LANCASTER
COMMUNITY PRESERVATION ACT COMMITTEE
PROJECT APPLICATION FORM -- Fiscal Year 2023
Submission Due Date: December 15, 2022

Subsequently, the children's titles were separated as a distinct collection.

- The first story hour was held in 1913 when Alice Green Chandler [1873-1889] engaged a young lady from Worcester to tell stories on alternate Saturday mornings.
- The first juvenile borrower's card was issued in 1925, an event which, as described in the 1926 annual Library report, precipitated the end of the Sunday School Library of the First Church. The children's collection of the Church's Library was so offered to Lancaster Town Library.
- Mrs. Bayard Thayer gifted the 1928 addition of the Children's Room ["Historic Wing"] and a bequest for the increase of the children's collection on behalf of her deceased son Nathaniel Thayer II. Her charitable contributions empowered the Library to focus attention on meeting the needs of the Town's children in ways that previously had not been possible. Today, the circulation of youth materials accounts for nearly fifty percent of total Library circulation.

The Thayer Memorial Library keeps an outstanding collection of children's literature. It works closely with Mary Rowlandson Elementary School and Luther Burbank Middle School, supplying a thoughtful approach to encourage reading over the summer months. It is committed to carrying on, through all available means, the range of children's services combined over the years and meeting the needs of 21st-century youth as media use patterns evolve.

As the Historical Wing approaches its centennial, the Library Trustees advocate for funding during the municipal budget process, raise funds to support the development of services, and be responsible caretakers and stewards of one of the Town's most iconic possessions.

How will this project preserve or enhance Town assets or resources? Is this request to acquire a threatened or endangered asset or resource?

As mentioned in the *Exterior Conditions Assessment of the Thayer Memorial Library*, there was an urgent need to address the structural concerns of the casement windows two years ago. It is perhaps fair to say it is *critical* to address the condition of the windows as soon as possible.

How is this project consistent with Lancaster's long-range plans?

Within the master plan is section VI. *Historic & Cultural Resources* [Appendix 3] which says the following:

Lancaster's rich historical heritage is reflected in the more than sixty historic sites, and places of cultural interest noted on the Historic & Cultural Resource Map [Appendix 4]. It is home to two national historic districts – Center Village, and North Village, whose boundaries are shown on the accompanying Historic District Map. Center Village and North Village were placed on the National Register of Historic Places on June 8, 1976.

The Lancaster Historical Commission describes the Center Village District as follows:

The Center Village District includes 110 early buildings and homes dating from 1727 to 1961, which include architectural styles of Cape style, Colonial, Classical revival, Colonial revival, federal, Greek revival, Italianate, Queen Anne, Victorian Eclectic, and Ranch. The Center Village is a quiet

TOWN of LANCASTER
COMMUNITY PRESERVATION ACT COMMITTEE
PROJECT APPLICATION FORM -- Fiscal Year 2023
Submission Due Date: December 15, 2022

residential area of this earliest town in Worcester County. The district extends eight-tenths of a mile along Main Street from the Sprague-Vose Bridge over the Nashua River to the northern end of Main Street, joining Route 117 near the North Village. Center Village District includes the beautiful center green, which is an unusual quadrangle upon which one side is Main Street, and on the opposite side stands the **Thayer Memorial Library**, the Prescott Building (Center School), and on the south side stands the Georgian Colonial Town Hall and on the north side stands the neoclassical First Church of Christ, designed by Charles Bulfinch as the Fifth Meeting House, listed on the National Register of Historic Landmarks.

(Lancaster Historical Commission)

GOALS AND OBJECTIVES

Preservation of Lancaster's historic heritage, historic buildings and sites, and landscapes are a critical part of preserving this Town's character.

Accordingly, Lancaster's objectives for historic preservation and preservation of its traditional Town character are to:

- Preserve and protect the important and valuable historic properties and sites in Lancaster that contribute so much to its character and that are part of its heritage.
- Raise awareness within Lancaster and beyond about Lancaster's rich historic heritage and the scores of important historic sites throughout town.

IMPLEMENTING ACTIONS

The following actions are identified in section VI. *Historic & Cultural Resources* to implement Lancaster's goals for historic and cultural preservation:

- Conduct public education in Lancaster and beyond to make townspeople aware of the importance and value of Lancaster's historic heritage, buildings, and sites.

Every May, the Library observes Lancaster History Month. This month, the Library celebrates historical people, events, and places. The Library hosts several programs and creates displays that develop townspeople's awareness of the importance and value of Lancaster's historical heritage, buildings, and sites.

- Continue to explore the possibility of creating a local historic district for the Center Village historic area to better protect this "crown jewel" of Lancaster's historic heritage.

The Library is listed the Massachusetts Cultural Resource Information System [MACRIS] as a historic asset of the Commonwealth [Appendix 5].

The so-called "Public Library" is named and is included in the Center Village Historic District and is listed in the National Register Of Historic Places Inventory [Appendix 6].

TOWN of LANCASTER
COMMUNITY PRESERVATION ACT COMMITTEE
PROJECT APPLICATION FORM -- Fiscal Year 2023
Submission Due Date: December 15, 2022

- Preserve the integrity of the Town Green and its tradition as an open gathering place.

I served as a member of the Ad Hoc Town Green Committee, voted by the Board of Selectmen, to analyze the suitability of signage on the Town Green [Appendix 7a-b].

- Develop strategies to protect and preserve the historic properties and sites in Lancaster that are endangered by deterioration, inadequate maintenance, demolition, and floodplain development.

At the May 2022 Annual Town Meeting, the Town voted and appropriated \$75,000 [Appendix 8] for the Library to conduct a Feasibility study to address, among other things:

Appraising all current building conditions within the Thayer Memorial Library, including exterior and interior building structures, systems, and spaces, as well as furniture, fixtures, and associated equipment.

Analyzing initial design scope and cost estimates compared to preserving or replacing exterior and interior structures, systems, and spaces.

Conceiving schematic design and cost analysis on building and system rehabilitation, restoration, and reconstruction with a particular focus on the slate roof and associated assemblies, exterior brickwork, and the painting of all interior spaces.

Figuring out and cost estimating for the conservation of all historic woodwork, windows, and structures that work to maximize the amount of the original material.

Constructing a cost-benefit assessment of replacing furniture, fixtures, and associated equipment, including, but not limited to, building electrical systems, HVAC hardware, and carpeting.

Studying and applying all national, state, and local building codes and regulations with a particular focus on the historical preservation of exterior and interior building structures, systems, and spaces covered by the State's Conservation restrictions.

- Explore the creation of a museum to safeguard and display Lancaster's historic assets and records.

The Library's Historical Museum was established in 1863 and consisted of a permanent and eclectic exhibit of historical artifacts relating to Lancaster.

The collection represents a wide assortment of items, including local Civil War memorabilia, pre-historic tools, Elias Sawyer's c1704 plate, 19th-century locally manufactured items, documents, photographs, maps, prints, signs, pottery, tools, bottles, local church and public and private school memorabilia, local period clothing and costume samples, local 19th-century physician's instruments, native-born Luther Burbank memorabilia, furniture, Lancaster Elm memorabilia, and miscellaneous artifacts from the Lancaster Town Poor Farm, and numerous other fascinating samplings with local historical, educational and cultural significance.

TOWN of LANCASTER
COMMUNITY PRESERVATION ACT COMMITTEE
PROJECT APPLICATION FORM -- Fiscal Year 2023

Submission Due Date: December 15, 2022

Will this project serve multiple needs and populations within Lancaster? Will this Project assist a currently underserved population?

The Thayer Memorial Library serves the informational, culturally programmatic, and space needs of everyone. It does not discriminate based on race, gender, national origin, age, disability, marital or veteran status, sexual orientation, or any other legally protected status.

How does this project benefit, protect, or preserve the environment?

For more than a decade, the Library has been the recipient of the Rosemary Davis Fund of the Greater Worcester Foundation. Among the many subjects, the grant funds Library services supplying media and programs to children to "Protect nature, wildlife, marine life, and animal habitats and Promote animal and environmental education for children..."

The Library hosts the Nashoba Valley Climate Coalition programs.

Is it feasible to complete this project in the year for which funding has been requested? If not, please explain.

Yes, this project should be completed by the end of fiscal year FY2024.

Is there an urgency to the completion of this project? What are the ramifications if the project is delayed and/or not completed?

Yes. The windows continue to be in a state of disrepair. Every year after suffering more damage affected by seasonal events, the structures of the windows are weakened, and the project repair requirements, as said by Spencer, Sullivan & Vogt's report, move from urgent to severe.

Signature of Applicant:





Spencer, Sullivan & Vogt
ARCHITECTURE • PRESERVATION

Exterior Conditions Assessment of
THAYER MEMORIAL LIBRARY
LANCASTER, MASSACHUSETTS • 18 NOVEMBER 2020

ACKNOWLEDGMENTS

Prepared For:	<u>The Thayer Memorial Library Board of Trustees</u> Thayer Memorial Library 717 Main Street Lancaster, MA 01523 (978) 368-8928	
Prepared By:	<u>Spencer, Sullivan & Vogt Architects, Inc.</u> 1 Thompson Square Suite 504 Charlestown, MA 02129 (617) 861-4291 www.ssvarchitects.com	
Project Team:	Lynne Spencer	Principal, Historic Preservationist
	Douglas A. Manley, AIA	Project Architect
	Joseph M. Metrano	Architectural Designer
Special Thanks To:	Joe Mulé, Library Director Thayer Memorial Library (978) 368-8928 ext. 3 jmule@cwmares.org	
	Emily J. Rose, Chairwoman Thayer Memorial Library Board of Trustees	
	David I. Spanagel, Member Thayer Memorial Library Board of Trustees	
	Ward Hamilton Olde Mohawk Historic Preservation (7877) 622-8973 oldemohawkinc@gmail.com	

Memorial Hall – c.1868



Courtesy of the V.R. Dexter Special Collections Room, Thayer Memorial Library

Thayer Memorial Library – c.1899



Courtesy of the V.R. Dexter Special Collections Room, Thayer Memorial Library

PART ONE: EXECUTIVE SUMMARY

In December 2019, the Thayer Memorial Library Board of Trustees commissioned Spencer, Sullivan & Vogt (SSV) for an exterior conditions assessment of this 1868 library building, which had for years been experiencing persistent leaks and water damage in several places at the building interior. With the expressed purpose being inclusion in a grant application to Round 26 of the Massachusetts Preservation Projects Fund (MPPF) through the Massachusetts Historical Commission, the report was to include (1) documentation of the deficiencies of the building envelope, (2) recommendations for their treatment, and (3) a preliminary cost estimate comprehensively addressing all of the necessary work, phased to determine which measures were most pressing and could realistically be funded by a matching grant from MPPF.*

Preparation of this report commenced in the early weeks of 2020, following SSV Principal/ Preservationist Lynne Spencer's project briefing with Library Director, Mr. Joseph Mulé and Trustees Emily Rose and David Spanagel. On January 9th, Preservation Architect Doug Manley and Architectural Designer Joe Metrano visited Lancaster for a comprehensive field assessment, during which time Mr. Mulé, Ms. Rose, and Mr. Spanagel gave them a tour of the library. Among the most pressing issues observed during this site visit were active leaks at various places in the building interior, selective ice damming at roof valleys, efflorescence at brick masonry resulting from runoff, and deterioration of historic windows at the 1929 wing ('Children's Room'). The water damage at both the building's interior and exterior points to the main culprit: roofing deficiencies. Details of these deficiencies are identified and explained in **Part Two** of this report.

Working from a large collection of archived documents regarding recent modifications to the library (courtesy of Mr. Mulé), Joe Metrano developed existing conditions drawings of the building using AutoCAD: dimensions for the elevations were drawn primarily from CBT's 1998 construction set for the south ('new') wing addition, whereas the roof plan was drawn using information gathered in a 2015 EagleView survey (included in the roof conditions assessment submitted by Ward Hamilton of Olde Mohawk Historic Preservation in August of that year). Observed preservation concerns have been called out on these drawings, which are keyed according to priority of treatment: *Critical* (within one year), *Urgent* (one to two years), *Short Term* (within five years), and *Long Term* (within ten years).





The observations and findings of the January 9th assessment have been compiled into this report, and most of the photos were taken that day (unless otherwise noted). For the sake of effectively organizing the report, **Part Two: 'Conditions Assessment and Treatment Recommendations'** has been divided into five sections, one for each elevation and another for the roof. The treatment recommendations listed in Part Two are the basis of **Part Three: 'Cost Estimate.'** The first estimate comprehensively accounts for *all* recommended work items identified in the conditions assessment, whereas the second accounts for all items comprising a potential *first phase* of work. While priority of treatment (as keyed on the drawings) is the primary factor in developing the proposed timeline for this project, other factors also come into play. For example, work of a similar nature (that would likely be performed by the same contractor) is often grouped together as a single phase. Other concerns are also listed and explained, and will be addressed according to availability of funds.

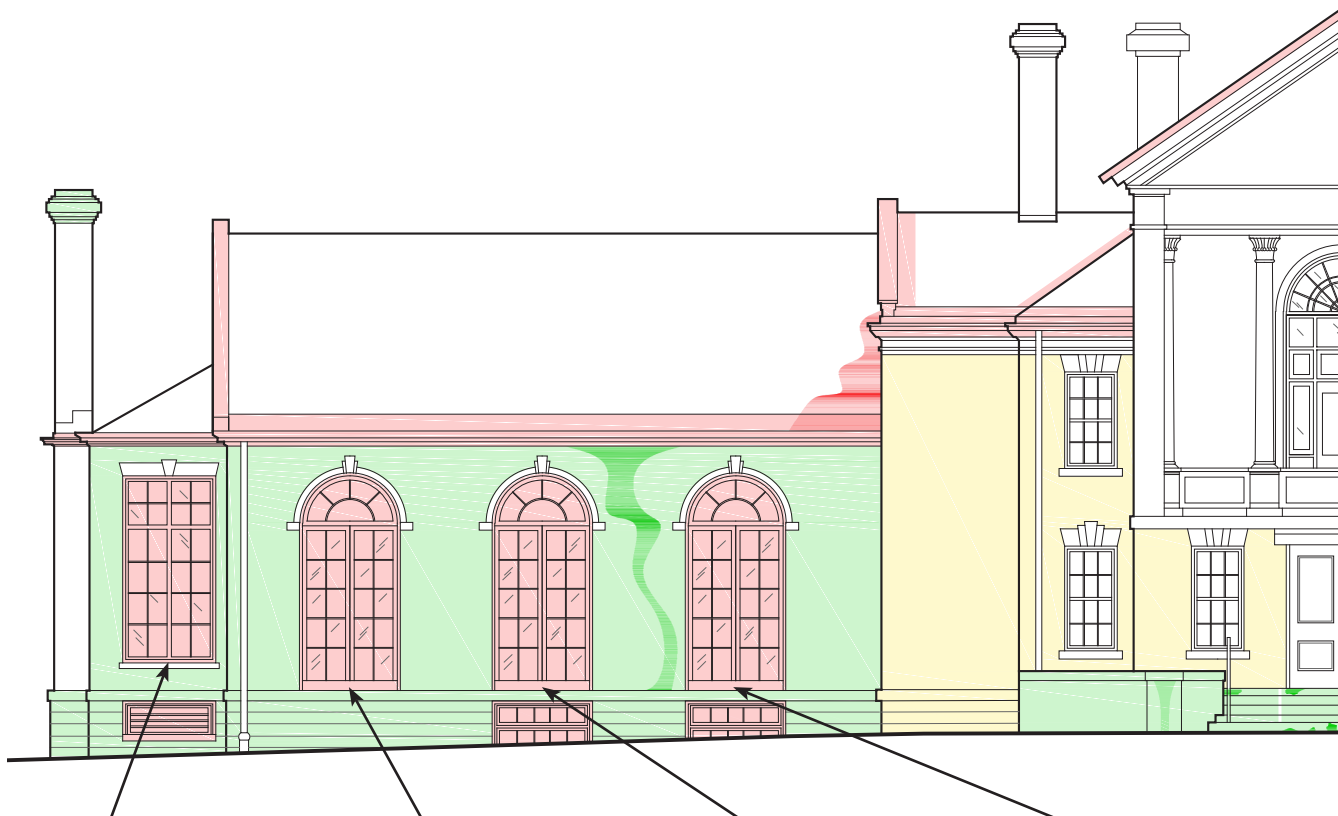
***Note: The MPPF application for which this conditions assessment was prepared was not submitted during Round 26 (FY2021). The report will instead be submitted to the Town of Lancaster along with a request for a capital funds allocation.**

PART TWO: CONDITIONS ASSESSMENT & TREATMENT RECOMMENDATIONS

A. WEST ELEVATION

PHASING LEGEND:

	Critical (within 1 year)
	Urgent (1-2 yrs)
	Short-term (within 5 yrs)
	Long Term (within 10 yrs)

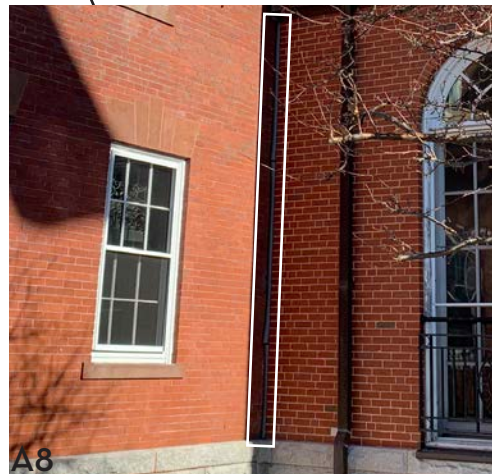
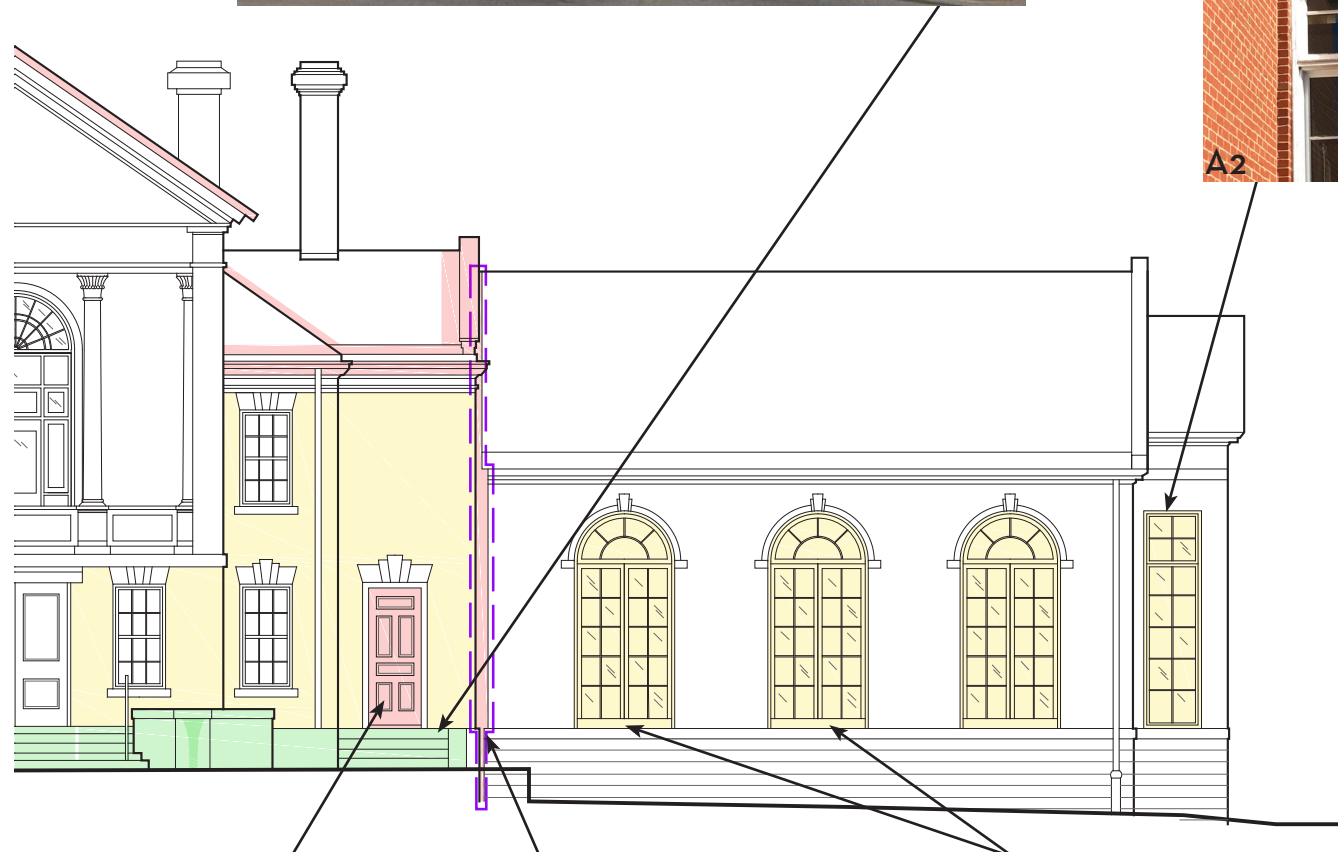
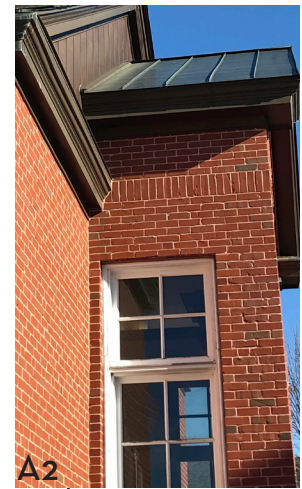


APPENDIX 1. Exterior Conditions Assessment Of THAYER MEMORIAL LIBRARY

CONDITIONS ASSESSMENT & TREATMENT RECOMMENDATIONS

6/26

THAYER MEMORIAL LIBRARY
Lancaster, Massachusetts



PART TWO: CONDITIONS ASSESSMENT & TREATMENT RECOMMENDATIONS

A. WEST ELEVATION





Existing Conditions

The west elevation is Thayer Memorial Library's primary facade. Facing the Common, it is the most visible of the building's four faces. Much foot traffic proceeds into the building through its central entrance. **For the purpose of this report, the 'Main Block' refers to the central portion of the library (completed in 1868), 'Historic Wing' refers to the north wing (added in 1929), and 'New Wing' refers to the south wing (added as part of the 1999 addition).** Observations of this elevation exclude any portions of the roof, which are addressed in *Part Two, Section E*.

- Of the observations explained in this report, the most urgent is by far the expansion joint at the intersection of the Main Block and Historic Wing. Installed in 1998 to compensate for the inevitable expansion and contraction of these two portions of the building, the expansion joint has been left unsealed, and appears to have been this way since the completion of the addition in 1999. With much interior water damage observed near this intersection, this is very likely the cause of significant water infiltration into the building envelope at the New Wing (see Img. A8). Improper sealing of the joint is likely due to its insufficient detailing in CBT's 1998 construction set for the addition.
- Monumental windows at the Historic Wing, including three arched windows facing the Common, are deteriorated and require attention within the next two years. Glazing putty at all sashes is deteriorating, and wood elements have seen notable decay resulting from water absorption. Sashes and casing, too, have faced decay. Paint is chipping throughout (see Imgs. A4 - A6), including at two basement windows below.
- Little finish remains on the unused door to the right of the main entrance. Evidence suggests that the wood is severely deteriorated at the bottom, where moisture has been absorbed from the stoop below. Black mold may exist here (See Img. A7).
- Monumental windows at the New Wing, including three arched windows and one narrow opening, all facing the Common, require attention within the next five years, as their paint is peeling. In the long term, improper maintenance of painted surfaces can lead to water damage and decay (see Imgs. A2 and A9).
- There are open joints at much of the granite entry structure, including at the stairs, retaining walls, and ramps). Improper maintenance of these joints could result in accelerated decay of the supporting structure of the stairs, in turn leading to shifting and displacement of stone treads (see Img. A1).
- There are open joints in much of the brick masonry at the Historic Wing, where efflorescence and staining are most common (visible in Img. A2). Damage here is likely a result of heavy runoff from failing gutters above.
- Paint is peeling at many of the cast iron railings at the arched monumental windows at both the Historic Wing and New Wing. Improper maintenance of paint could result in decay. The resulting rust could in time stain adjacent masonry.

Treatment Recommendations

PHASING LEGEND:

	Critical (within 1 year)
	Urgent (1-2 yrs)
	Short-term (within 5 yrs)
	Long Term (within 10 yrs)

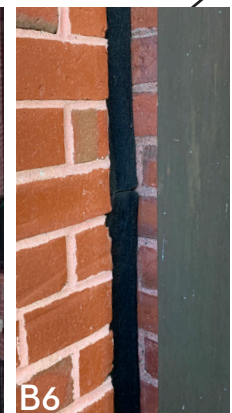
- Expansion joint covers should be installed and caulked in any location in which the joint is unsealed or exposed to the elements. Installation of a copper cap is recommended, and can likely be accomplished as part of the comprehensive flashing and gutter replacement described in *Part Two, Section E* of this report.
- Deteriorated sashes should be removed and transported to the shop of a window restoration specialist, where they will be comprehensively restored. Window restoration of this type often involves paint removal, re-glazing, epoxy consolidation of damaged wood, and re-finishing (which should be done in-shop). Basement windows at this elevation should be prepared and re-painted *in-situ*.
- This door, which does not appear to be original (or character-defining in any capacity), should be removed and replaced with a replica. The door should be painted, rather than have a transparent finish.
- While windows at the Historic Wing require restoration, these windows only require preparation and painting, which can (and should) be done *in situ*.
- Open joints at the granite entry structure should be either cut and pointed or caulked, depending on their condition when the project is carried out.
- All brick-to-brick mortar joints at the Historic Wing should be cut and pointed with mortar to match the existing. All staining and efflorescence should then be removed by cleaning.
- All cast iron railings at the west elevation should be removed, their paint scraped, and surface rust removed. These railings should then be painted and re-installed in their proper locations.

PART TWO: CONDITIONS ASSESSMENT & TREATMENT RECOMMENDATIONS

B. NORTH ELEVATION

PHASING LEGEND:

- Critical (within 1 year)
- Urgent (1-2 yrs)
- Short-term (within 5 yrs)
- Long Term (within 10 yrs)



APPENDIX 1. Exterior Conditions Assessment Of THAYER MEMORIAL LIBRARY

CONDITIONS ASSESSMENT & TREATMENT RECOMMENDATIONS

10/26

THAYER MEMORIAL LIBRARY
Lancaster, Massachusetts



PART TWO: CONDITIONS ASSESSMENT & TREATMENT RECOMMENDATIONS

B. NORTH ELEVATION





Existing Conditions

Here, the 'north elevation' is comprised of the north faces of three distinct parts of the building: the *Historic Wing*, the *Main Block*, and the rear portion of the 1999 addition. As with all parts of this assessment, most of the deficiencies/preservation concerns at this elevation are at the *Historic Wing* and the *Main Block*. Observations of this elevation exclude any portions of the roof, which are addressed in *Part Two, Section E*.

- The expansion joint is also exposed at this elevation, but it is instead at the intersection of the rear portion of the 1999 addition and the Historic Wing. Here, too, the open joint allows for significant water infiltration into the building envelope (see Img. B7). Improper sealing of the joint is likely due to its insufficient detailing in CBT's 1998 construction set for the addition.
- The two curved monumental windows at the Historic Wing's 'apse' are deteriorated and require attention within the next two years. Glazing putty at all sashes is deteriorating, and wood elements have seen notable decay resulting from water absorption. Sashes and casing, too, have faced decay. Paint is chipping throughout (see Imgs. B9 and B10).
- Paint is peeling on the basement louver at the west side of the Historic Wing's 'apse.'
- There is selective brick mortar deterioration at the north face of the Main Block, likely a result of heavy runoff from failing gutters above.
- Much of the paint on the door accessing the basement at the east side of the Historic Wing's 'apse' has peeled away (see Img. B8).
- Runoff at the flat-roof scupper (1999 addition) has contributed to heavy staining and degradation of the brick masonry below (see Img. B5).
- There are open joints in much of the brick masonry at the Historic Wing, where efflorescence and staining are most common. Damage here is likely a result of heavy runoff from failing gutters above.
- Brick-to-brick mortar joints at the chimney cap are significantly decayed. Bricks themselves are spalling and stained (see Img. B2).
- There is selective staining of brick masonry throughout the 1999 addition (see Imgs. B3 and B4).
- Paint is peeling (mildly) at the windows of the 1999 turret.

Treatment Recommendations

PHASING LEGEND:

	Critical (within 1 year)
	Urgent (1-2 yrs)
	Short-term (within 5 yrs)
	Long Term (within 10 yrs)

- An expansion joint cover should be installed and caulked in any location in which the joint is unsealed or exposed to the elements . See *page 5* for details.

- Like their counterparts at the west elevation, these deteriorated sashes should be removed and transported to the shop of a window restoration specialist, where they will be comprehensively restored. See *page 5* for details.

- This louver should be prepared and painted *in-situ*.

- Areas with open brick-to-brick mortar joints should be cut and pointed, and staining and efflorescence should be removed via cleaning.

- This door should be prepared and painted *in situ*.

- This area of brick masonry should be cut and pointed, and staining and efflorescence should be removed via cleaning.

- All brick-to-brick mortar joints at the Historic Wing should be cut and pointed. See *page 5* for details.

- The brick chimney cap should be dismantled and rebuilt. Existing bricks should be salvaged where possible; any replacement bricks should match the existing, as well as mortar.

- Staining at masonry should be removed via cleaning.

- These windows should be prepared and painted *in situ*.

PART TWO: CONDITIONS ASSESSMENT & TREATMENT RECOMMENDATIONS

C. EAST ELEVATION

PHASING LEGEND:

- Critical (within 1 year)
- Urgent (1-2 yrs)
- Short-term (within 5 yrs)
- Long Term (within 10 yrs)



APPENDIX 1. Exterior Conditions Assessment Of THAYER MEMORIAL LIBRARY

CONDITIONS ASSESSMENT & TREATMENT RECOMMENDATIONS

14/26

THAYER MEMORIAL LIBRARY
Lancaster, Massachusetts



PART TWO: CONDITIONS ASSESSMENT & TREATMENT RECOMMENDATIONS

C. EAST ELEVATION





Existing Conditions

Here, the 'east elevation' is comprised of the east faces of three distinct parts of the building: the *Historic Wing*, the *New Wing*, and the rear portion of the 1999 addition. As with all parts of this assessment, most of the deficiencies/preservation concerns at this elevation are at the *Historic Wing*; deficiencies at the 1999 addition are naturally less pressing as they have had less time to develop. Observations of this elevation exclude any portions of the roof, which are addressed in *Part Two, Section E*.

- Monumental windows at the Historic Wing, including two arched windows facing the Community Center, are deteriorated and require attention within the next two years. Glazing putty at all sashes is deteriorating, and wood elements have seen notable decay resulting from water absorption. Sashes and casing, too, have faced decay. Paint is chipping throughout (see Img. C4), including at the basement window and louver below.
- Monumental windows at the New Wing, including two arched windows and one narrow opening, all facing the Community Center, require attention within the next five years, as their paint is peeling. In the long term, improper maintenance of painted surfaces can lead to water damage and decay.
- There is selective staining of brick masonry throughout the east face of the 1999 addition, likely due to heavy runoff and corrosion of metals. De-icing salts and moisture absorption has also resulted in some efflorescence at the foot of the brick masonry (see Imgs. C1 - C3).
- There is minor peeling of paint at all 1999 windows at this elevation.
- Paint is peeling at many of the cast iron railings at the arched monumental windows at both the Historic Wing and New Wing. Improper maintenance of paint could result in decay. The resulting rust could in time stain adjacent masonry.

Treatment Recommendations

PHASING LEGEND:

	Critical (within 1 year)
	Urgent (1-2 yrs)
	Short-term (within 5 yrs)
	Long Term (within 10 yrs)

- Like their counterparts at the west and north elevations, these deteriorated sashes should be removed and transported to the shop of a window restoration specialist, where they will be comprehensively restored. See *page 5* for details.

- Like their counterparts on the west elevation, these windows should be prepared and painted *in situ*.

- Staining and efflorescence at masonry should be removed via cleaning.





- These windows should be prepared and painted *in situ*.

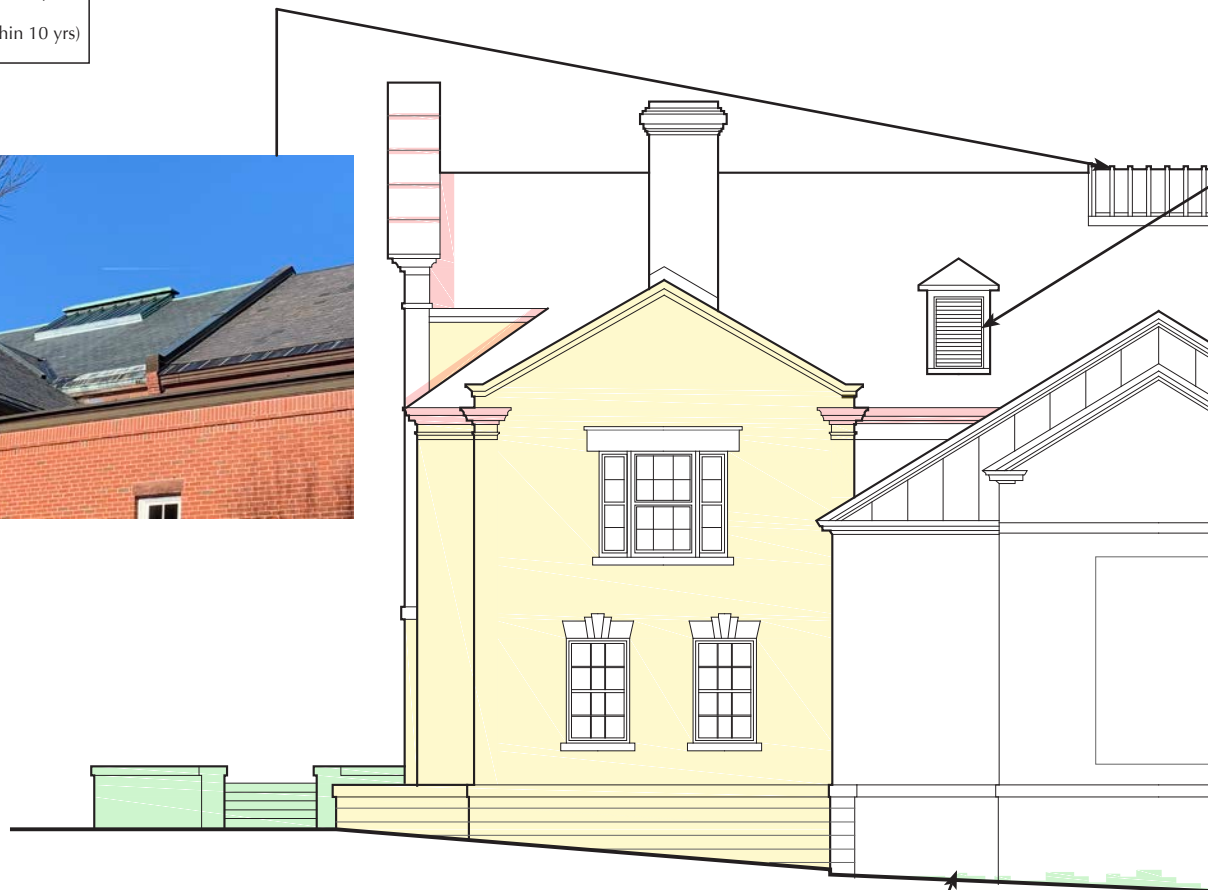
- All cast iron railings at the west elevation should be removed, their paint scraped, and surface rust removed. These railings should then be painted and re-installed in their proper locations.

PART TWO: CONDITIONS ASSESSMENT & TREATMENT RECOMMENDATIONS

D. SOUTH ELEVATION

PHASING LEGEND:

-  Critical (within 1 year)
-  Urgent (1-2 yrs)
-  Short-term (within 5 yrs)
-  Long Term (within 10 yrs)

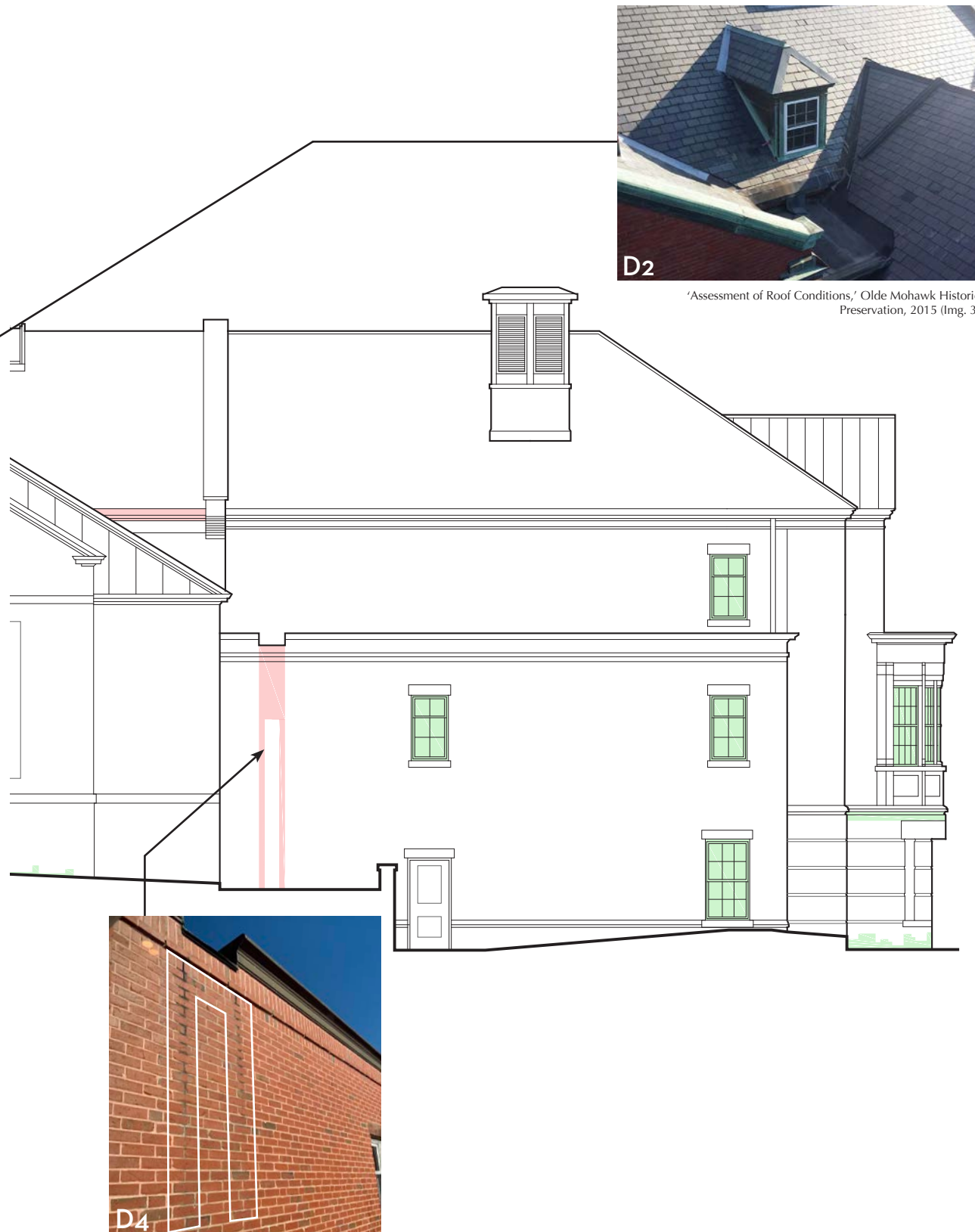


APPENDIX 1. Exterior Conditions Assessment Of THAYER MEMORIAL LIBRARY

CONDITIONS ASSESSMENT & TREATMENT RECOMMENDATIONS

18/26

THAYER MEMORIAL LIBRARY
Lancaster, Massachusetts



PART TWO: CONDITIONS ASSESSMENT & TREATMENT RECOMMENDATIONS

D. SOUTH ELEVATION





Existing Conditions

Here, the 'south elevation' is comprised of the south faces of three distinct parts of the building: the *New Wing*, the *Main Block*, and the rear portion of the 1999 addition. As with all parts of this assessment, most of the deficiencies/preservation concerns at this elevation are at the *Main Block*. Observations of this elevation exclude any portions of the roof, which are addressed in *Part Two, Section E*.

- There is selective brick mortar deterioration at the south face of the Main Block, likely a result of heavy runoff from failing gutters above (visible in Img. D2).
- Runoff at the flat-roof scupper (1999 addition) has contributed to heavy staining and degradation of the brick masonry below (see Img. D4).
- There is selective staining of brick masonry throughout the south face of the 1999 addition, likely due to heavy runoff and corrosion of metals. De-icing salts and moisture absorption has also resulted in some efflorescence at the foot of the brick masonry (see Img. D3).
- There is minor peeling of paint at all 1999 windows at this elevation.

Treatment Recommendations

PHASING LEGEND:





	Critical (within 1 year)
	Urgent (1-2 yrs)
	Short-term (within 5 yrs)
	Long Term (within 10 yrs)

- Areas with open brick-to-brick mortar joints should be cut and pointed, and staining and efflorescence should be removed via cleaning.
- This area of brick masonry should be cut and pointed, and staining and efflorescence should be removed via cleaning.
- Staining and efflorescence at masonry should be removed via cleaning.
- These windows should be prepared and painted *in situ*.

PART TWO: CONDITIONS ASSESSMENT & TREATMENT RECOMMENDATIONS

E. ROOF PLAN

PHASING LEGEND:

	Critical (within 1 year)
	Urgent (1-2 yrs)
	Short-term (within 5 yrs)
	Long Term (within 10 yrs)



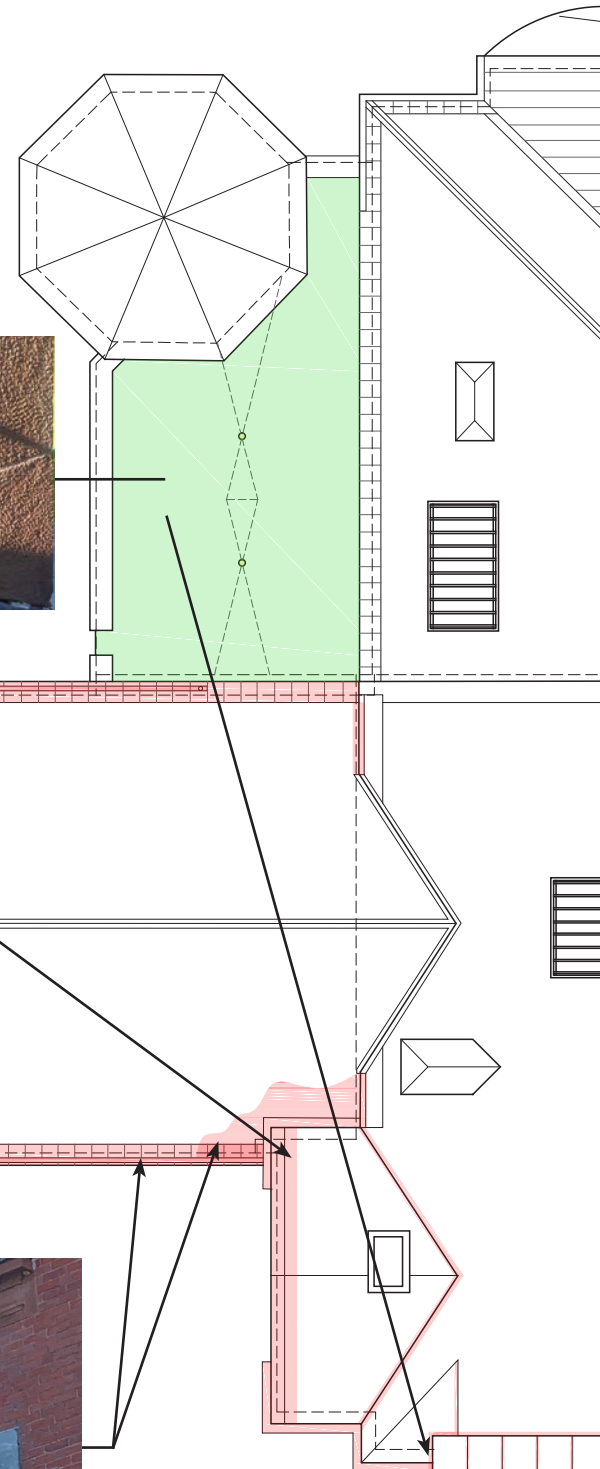
E1
'Assessment of Roof Conditions,' Olde Mohawk
Historic Preservation, 2015 (Img. 8)



E2
'Assessment of Roof Conditions,' Olde Mohawk
Historic Preservation, 2015 (Img. 19)



E4

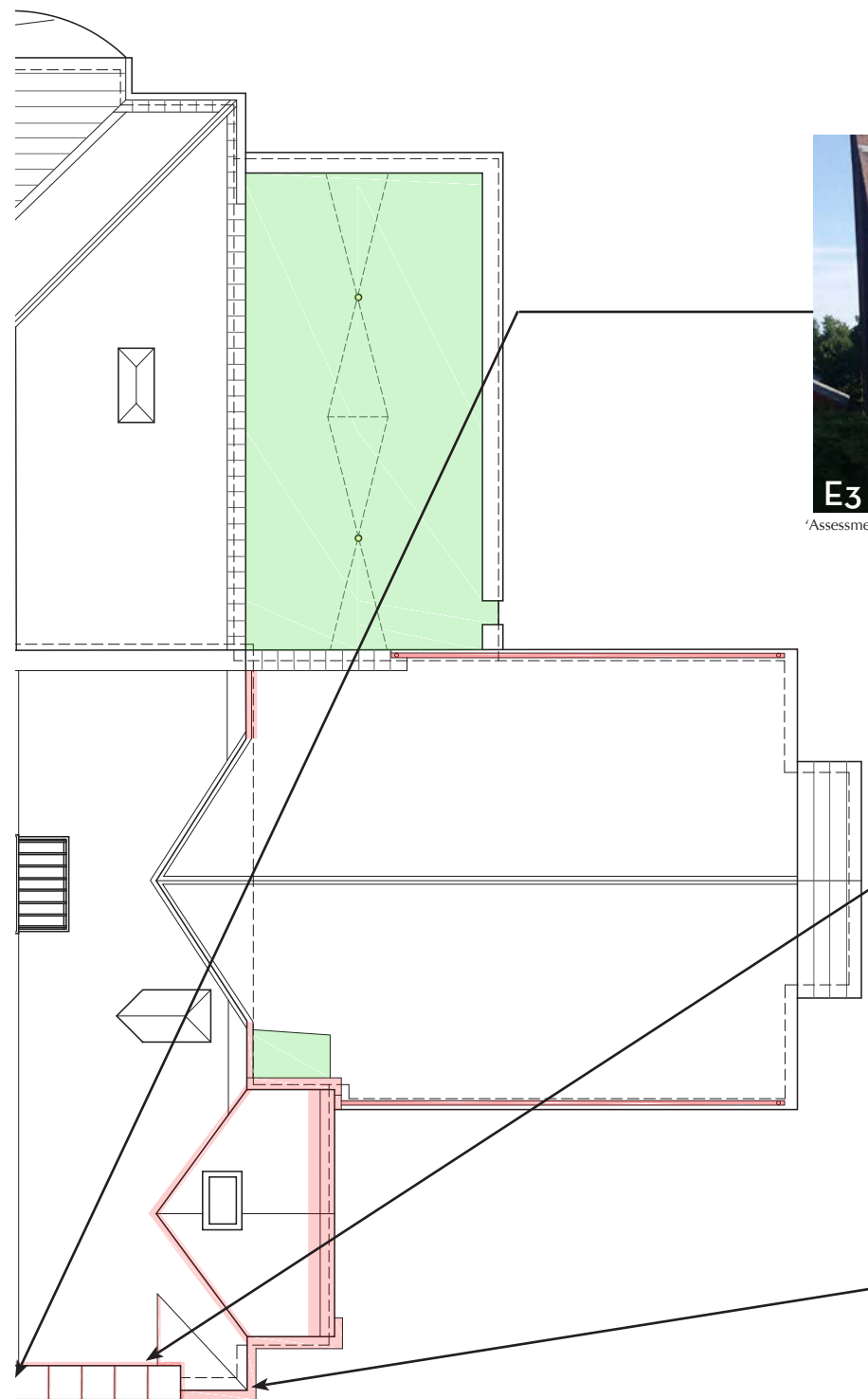


APPENDIX 1. Exterior Conditions Assessment Of THAYER MEMORIAL LIBRARY

CONDITIONS ASSESSMENT & TREATMENT RECOMMENDATIONS

22/26

THAYER MEMORIAL LIBRARY
Lancaster, Massachusetts



'Assessment of Roof Conditions,' Olde Mohawk Historic Preservation, 2015 (Img. 18)



'Assessment of Roof Conditions,' Olde Mohawk Historic Preservation, 2015 (Img. 22)



'Assessment of Roof Conditions,' Olde Mohawk Historic Preservation, 2015 (Img. 11)

PART TWO: CONDITIONS ASSESSMENT & TREATMENT RECOMMENDATIONS





E. ROOF PLAN

Existing Conditions

The largest expense item in restoring Thayer Memorial Library will undoubtedly be roof repairs, specifically at the *Main Block* and *Historic Wing* of the building. While Ward Hamilton of Olde Mohawk Historic Preservation has completed a number of pressing repairs since making his initial assessment of the roof conditions in 2015, some of the largest expense items have been left unaddressed. Our observations in this section of the report draw largely from Mr. Hamilton's 2015 assessment, with considerations for the likely acceleration of certain conditions over the past five years.

- At the brownstone coping, mortar joints between brownstone coping slabs are covered by a lead sheet, which is caulked into a reglet. All vertical-facing mortar joints offer significant opportunity for water infiltration into masonry (see Img. E3).
- At the roofs of both the Main Block and Historic wing, the deterioration of copper gutters and downspouts is accelerating. These aged gutters do not properly divert runoff, which in turn runs down the brick masonry, which causes spalling, efflorescence, and mortar deterioration. Snow aprons, too, have aged significantly. Open solder joints between sheets of copper allow water and snow melt to infiltrate timber roofing structure and masonry below (see Img. E6).
- Though CBT called for the installation of snow railings at both wings during their 1999 project, these were never installed. Falling snow and ice pose a threat to visitors passing underneath the building's eaves.
- The continuous copper counterflashing behind the brownstone facade has come loose in several places, allowing water to infiltrate the brownstone coping (see Img. E5).
- Valley flashings between pitched roofs at the Main Block are aged and do not properly divert runoff and snow melt (see Imgs. E4 and E6).
- There is frequent ice damming at the intersection of the Historic Wing and Main block, due to its protection from sunlight and improper shedding of runoff. Accumulated ice in this valley could fall, posing a threat to passersby below (see Img. E4).
- A system for melting ice and snow at the roof was installed at some point in the building's past, but is now defunct. Wires at the roof offer a place for ice and snow to accumulate.
- The copper flashings between the snow aprons and brownstone (at the intersection of both wings with the Main Block) are cut into shallow reglets. Mortar at both reglets has deteriorated, allowing water into the brownstone and creating opportunity for (1) leaks at the interior and (2) brownstone spalling (see Img. E2).
- The intersection of flat EPDM roofing and a parapet offers opportunity for water infiltration via separation of the EPDM from masonry and/or flashings.

PHASING LEGEND:

	Critical (within 1 year)
	Urgent (1-2 yrs)
	Short-term (within 5 yrs)
	Long Term (within 10 yrs)

Treatment Recommendations

- Lead covers at brownstone coping should be re-caulked.
- All copper gutters, downspouts, and snow aprons at the Main Block and Historic Wing should be replaced with *historically appropriate* copper gutters, downspouts, and snow aprons. Following installation, gutters should be monitored annually for blockages, which are frequently caused by leaves and other organic debris at this building. Measures to remediate the resulting damage to brick masonry is addressed in earlier sections of this report.
- Aluminum snow railings should be installed at the west and east roof edges of each wing. Installation of snow railings at the west elevation is more pressing as there is more frequent foot traffic below.
- The loose counterflashing should be re-fastened, and the reglet should be repointed with the appropriate mortar.
- Valley flashings should be replaced as part of the above-mentioned campaign to replace gutters and downspouts at the Main Block and Historic Wing.
- The aforementioned replacement of valley flashings should remediate the frequency of ice damming at this location, and the installation of snow railings will mitigate the potential for ice to fall.
- Wires left over from the defunct ice-melting system should be removed while other roof work is being carried out.
- Lead wedges at this reglet should be replaced, and the reglet should be repointed with the appropriate mortar or caulked.
- EPDM roofing should be monitored bi-annually.

APPENDIX 1. Exterior Conditions Assessment Of THAYER MEMORIAL LIBRARY

25/26

THAYER MEMORIAL LIBRARY
Lancaster, Massachusetts

COST ESTIMATE

PART TWO: COST ESTIMATE

The following table addresses work items identified in **Part Two**, totaling just over \$1 million. The recommended work is divided into three phases to be executed according to availability of funds. Work items for each phase were identified according to priority. Phase I involves restoring historic windows; Phase II will comprehensively address deficiencies at the roof; and Phase III involves repairs to non-original windows. Most values are based on the cost of similar (and recent) work at other historic buildings. Roofing items were estimated in collaboration with *Olde Mohawk Historic Preservation*.

PROJECT DESCRIPTION: Exterior restoration of Lancaster's public library, including restoration and refinishing of wood windows and doors, roofing improvements, and masonry repointing. 'Main Block' refers to the central portion of the library, completed in 1868. 'Historic Wing' refers to the north wing added in 1929. 'New Wing' refers to the south wing added as part of the 1999 addition project.

DIV. 01 - GENERAL REQUIREMENTS	QUANTITY	UNIT	COST	PHASE I	PHASE II	PHASE III	REMARKS
Staging, disposal, etc.				\$20,000	\$40,000	\$40,000	
Hazardous materials abatement (if needed)				\$20,000			(incl. in roofing disposal)
SUBTOTAL				\$40,000	\$40,000	\$40,000	

DIV. 04 - MASONRY	QUANTITY	UNIT	COST	PHASE I	PHASE II	PHASE III	REMARKS
Cut and point granite-to-granite mortar joints of stairs at main entrance	125	LF	\$35			\$4,375	
Rebuild brick chimney cap at historic wing	25	SF	\$100		\$2,500		
Cut and point (100%) brick-to-brick mortar joints at historic wing (all elevations).	1,450	SF	\$35			\$50,750	
Cut and point (100%) brick-to-brick mortar joints at main block (all elevations).	1,560	SF	\$35			\$54,600	
Cut and point (100%) granite-to-granite mortar joints at historic wing	150	SF	\$20			\$3,000	
Cut and point brick-to-brick mortar joints at areas damaged by runoff, as designated on drawings.	300	SF	\$35			\$10,500	
SUBTOTAL					\$2,500	\$123,225	

DIV. 07 - THERMAL AND MOISTURE PROTECTION	QUANTITY	UNIT	COST	PHASE I	PHASE II	PHASE III	REMARKS
Install snow railings at east and west elevations of historic wing and new wing.	136	LF	\$330		\$44,880		
Install and caulk exterior expansion joint covers at intersection of main block and new addition, north and west elevations.	1	LS	\$5,600		\$5,600		
Re-fasten continuous copper counter-flashing between slate roof and brownstone coping, main block. Repoint reglet.	25	LF	\$20		\$500		
Repoint snow apron reglets at intersections of both the historic and new wings with the brownstone façade (at main block). Replace lead wedges. Repoint reglet.	3	LF	\$35		\$105		
Replace all copper flashings at valleys of main block and historic wing.	70	LF	\$250		\$17,500		
Replace stepped copper flashings at historic wing (intersection of slate 'apse' roof and brick wall).	18	LF	\$250		\$4,500		
Replace all copper gutters, snow pans, and downspouts at main block.	300	LF	\$300		\$90,000		
Replace all copper copings at main block and historic wing.	85	LF	\$300		\$25,500		
Replace ballasted EPDM roofing at rear of 1999 addition and intersection of main block with new wing.	1,230	SF	\$60		\$73,800		
Selective replacement of broken or missing slates.	20	EA	\$100		\$2,000		
Remove electric roof cables	1	LS	\$1,000		\$1,000		
SUBTOTAL					\$265,385		

DIV. 08 - OPENINGS	QUANTITY	UNIT	COST	PHASE I	PHASE II	PHASE III	REMARKS
Restore all first floor wood windows at historic wing							
5 x 55 SF	275	SF	\$120	\$33,000			
2 x 46 SF (plus two wood storms)	184	SF	\$120	\$22,080			
Fabrication and installation of low-profile storm panels at all monumental arched windows at historic wing							
5 x 55 SF	275	LS	\$65	\$17,875			
Replacement of all windows' glazing beds and wood stops at entire 1999 addition	650	SF	\$30			\$19,500	
Selective thermal pane replacement at 1999 addition windows (allowance).	1	LS	\$20,000			\$20,000	
Replacement of door at west elevation.	1	LS	\$2,000	\$2,000			
SUBTOTAL				\$74,955		\$39,500	

APPENDIX 1. Exterior Conditions Assessment Of THAYER MEMORIAL LIBRARY

THAYER MEMORIAL LIBRARY
Lancaster, Massachusetts

26/26

EXTERIOR CONDITIONS ASSESSMENT

DIV. 09 - FINISHES	QUANTITY	UNIT	COST	PHASE I	PHASE II	PHASE III	REMARKS
Prep and paint all restored wood windows and casings at historic wing							
5 x 55 SF	275	SF	\$20	\$5,500			
2 x 46 SF (plus two wood storms)	184	SF	\$20	\$3,680			
Prep and paint all basement windows/louvers and casings at historic wing							
4 x 20 SF	80	SF	\$20	\$1,600			
1 x 11 SF	11	SF	\$20	\$220			
Prep and paint all first floor wood windows and casings at new wing							
5 x 55 SF	275	SF	\$20			\$5,500	
Prep and paint exterior of basement door and frame at historic wing, east elevation	44	SF	\$20	\$880			
Prep and paint all windows and casings at 1999 addition (excluding new wing)	650	SF	\$20			\$13,000	
Prep and paint all cast iron railings at first floor windows, historic wing and new wing	10	EA	\$500	\$5,000			
SUBTOTAL				\$16,880		\$18,500	

SUBTOTAL	\$131,835	\$307,885	\$221,225
General Conditions: @ 10% +	\$13,184	\$30,789	\$22,123
HARD COST SUBTOTAL	\$145,019	\$338,674	\$243,348
Overhead + Profit: @ 10% +	\$14,502	\$33,867	\$24,335
SUBTOTAL	\$159,520	\$372,541	\$267,682
Payment + Performance Bonds: @ 1% +	\$1,595	\$3,725	\$2,677
CONSTRUCTION COST SUBTOTAL	\$161,116	\$376,266	\$270,359
Contingency: @ 20% +	\$32,223	\$75,253	\$54,072
Architecture/Engineering Fees: @ 15% +	\$24,167	\$56,440	\$40,554
Paint Analysis	\$3,000		
PROJECT COST TOTAL	\$220,506	\$507,959	\$364,985

WINDOW RESTORATION SERVICES

RFP: RFP# 2023-003

Date Issued: 12 December 2022

Responses Due: 13 January 2023, by 10:00 AM EST

NOTICE IS HEREBY GIVEN that the Town of Lancaster is soliciting proposals and qualifications for the Thayer Memorial Library (hereafter “OWNER” or “Library”) to obtain window restoration services as described herein for the Thayer Memorial Library consistent with M.G.L. c. 7C, §§48-58 -Design Services for Public Building Projects for the Thayer Memorial Library. Individuals or Firms (“BIDDER”) responding to this Request for Proposals (“RFP”) should have extensive experience, a knowledgeable background, and qualifications in providing the services described herein.

Proposals shall be received by Friday, 13 January 2023, no later than 10 am, by mail or hand delivered: 9:00 am to 4:00 pm Monday – Thursday.

PROCUREMENT OFFICER

Kate Hodges, Town Administrator
WINDOW RESTORATION SERVICES
701 Main Street – Prescott Building
Lancaster, MA 01523

The Town Administrator, Library Director, and other consulting authorities shall review all proposals.

Interested respondents shall submit one (1) original and four (4) copies of their proposal for consideration. RFPs will not be accepted by fax, email, or any other mode of electronic communication.

SUBJECT PROPERTY LOCATION

Thayer Memorial library
717 Main Street
Lancaster, MA 01523

OWNER PROJECT MANAGER (“OPM”)

Joe Mulé, Library Director
Telephone: (978) 368-8928 Ext. 3
Email: jmule@lancasterma.net.

SCHEDULE A VISIT TO INSPECT WINDOWS BY: Friday, 23 December 2022

THE DEADLINE TO SUBMIT WRITTEN QUESTIONS IS: Tuesday, 03 January 2023, by 10 am

THAYER MEMORIAL LIBRARY WINDOW RESTORATION SERVICES
717 Main Street, Lancaster, Massachusetts 01523

Project Manual



Bid Set Prepared by Spencer Preservation Group
41 Valley Road, Suite 211B, Nahant, MA 01908
(617) 227-2675

Division	Section Title
----------	---------------

PROCUREMENT AND CONTRACTING DOCUMENTS GROUP

DIVISION	00	PROCUREMENT AND CONTRACTING REQUIREMENTS
00 20 00		INSTRUCTIONS TO BIDDERS
00 41 00		BID FORMS
00 44 40		CONTRACTOR'S QUALIFICATIONS

SPECIFICATIONS GROUPS

General Requirements Subgroup

DIVISION	01	GENERAL REQUIREMENTS
01 10 00		SUMMARY OF WORK

Facility Construction Subgroup

DIVISION	08	OPENINGS
08 01 52		HISTORIC WOOD WINDOW RESTORATION
08 53 00		STORM WINDOWS

DIVISION	09	FINISHES
09 90 00		PAINTING

END OF TABLE OF CONTENTS

DOCUMENT 00 20 00 - INSTRUCTIONS TO BIDDERS

The Town of Lancaster intends to commission one Firm to provide WINDOW RESTORATION SERVICES.

The firm selected shall be responsible for delivering these comprehensive WINDOW RESTORATION SERVICES and employing sub-contractors, as necessary.

Other areas of expertise, such as cost estimating, code research, or other required services to complete the project's design, are the firm's responsibility. This expertise must be provided as required, by the Firm's in-house personnel or through engaging sub-consultants.

All BIDDERS shall meet the following minimum qualifications to be considered for the project. The applicant is responsible for presenting their capabilities and qualifications clearly and concisely.

1. Project name and Location:

WINDOW RESTORATION SERVICES

Thayer Memorial Library

717 Main Street

Main Street, Lancaster, MA 01523

2. The OWNER shall be the Town of Lancaster. Therefore the construction agreement will be written between the successful BIDDER and the OWNER.
3. This document contains instructions to bid on the WINDOW RESTORATION SERVICES: RFP# 2023-003. This bidding document is not part of the Contract Documents unless referenced explicitly in the OWNER/Contractor Agreement.

4. To obtain bidding documents, contact:

Joe Mulé, Director
Thayer Memorial Library
717 Main Street
Lancaster, MA 01523
jmule@lancasterma.net

5. A deposit is not required to obtain copies of the bidding documents.
6. Submit Bid and Contractor Qualifications by 10 am on Friday, 13 January 2023

Late submissions shall not be considered.

Submit Bid To:

Kate Hodges, Town Administrator
RFP 2023-003: WINDOW RESTORATION SERVICES
Prescott Building
701 Main Street, Second Floor
Lancaster MA 01523

7. Bids will be opened confidentially. BIDDERS may not be present. Bids may not be withdrawn for 30 calendar days after receipt of bids.
8. The Town of Lancaster is an equal opportunity employer and purchaser M/F/D/V and does not discriminate based on race, gender, national origin, age, disability, marital or veteran status, sexual preference, or any other legally protected status.
9. Priority will be given to contractors who precisely demonstrate relevant experience in similar preservation work.
10. Oral, fax, or email modifications to bids will not be considered.

11. No award shall be made to any BIDDER who cannot satisfy the OWNER that they have sufficient ability and experience to complete the work successfully within the time named. The OWNER's decision or judgment on these matters will be final, conclusive, and binding.
12. BIDDER shall familiarize themselves fully with the conditions relating to the construction of the project and the employment of labor thereon. Interested BIDDERS shall schedule a visit with the OPM to inspect windows before Friday, 23 December 2022.

To schedule a visit, contact OPM Joe Mulé at 978-368-8928 ext. 3

13. BIDDER shall have a comprehensive knowledge of the Massachusetts State Building Code, Massachusetts public construction laws, and all other pertinent codes and regulations on Library buildings (local, state, and federal). Familiarity and Firm experience with public bidding, including bid challenges, history of previous and successful projects with construction administration of projects constructed under MGL Chapter 149. The laws and ordinances will be deemed included in the Contract as though herein written out in full.
14. BIDDER shall have a comprehensive knowledge of all public bid laws, including but not limited to M.G.L. Chapter 30 and 149, Section 44A- 1/2. The laws and ordinances will be deemed included in the Contract as though herein written out in full.
15. Have the financial and operational capacity to perform the design services on this project.
16. At the time of the opening of bids, the BIDDER will be presumed to have inspected the site and read and be thoroughly familiar with the Contract Documents (including all Addenda). The failure or omission of any BIDDER to examine any form, instrument, or document shall in no way relieve any BIDDER from any obligation concerning this bid.

17. Carry at their expense professional malpractice and errors and omissions insurance with limits of at least \$1,000,000 per claim and \$2,000,000 aggregate, with a deductible of no more than \$25,000 per claim. The selected entity shall also carry general liability and motor vehicle insurance policies listing the Town of Lancaster as additionally insured in the amount of \$1,000,000 per occurrence and \$2,000,000 aggregate for bodily injury and property damage.
18. The BIDDER is required to attach all documentation issued by the Insurance Firm showing necessary coverage as per this RFP.
19. The Contractor covenants and agrees to indemnify and hold harmless the Town of Lancaster, Town of Lancaster officials, employees, boards, commissions, committees, agents, and representatives against all claims course of actions, suits, damages, and liability of any kind which arise out of the negligence or willful misconduct the selected entity and their sub-entities.
20. Submit a completed Certificate of Non-Collusion by the applicant.
21. Submit a completed Certificate of Tax Compliance Certification by the applicant.
22. There shall be no smoking within the building or anywhere by workers. People who smoke shall do so outside and not permit any smoke to enter the building.
23. All materials and items will be incorporated into the project and will become the property of the OWNER upon completion of the said project
24. The OWNER is exempt from the Massachusetts Sales Tax. The General Contractor shall obtain from the OWNER the Sales Tax Exemption Number applicable for the project and shall include said number when ordering materials.

25. The OWNER reserves the right to reject or accept bids or negotiate with any BIDDER.
26. The OWNER reserves the right to waive any alleged breach of technicality.
27. The OWNER reserves the right to modify the Contract Documents and re-bid the project, if necessary, to meet the OWNER's budgetary requirements.
28. The selected BIDDER must agree to commence and prosecute the work listed in this RFP under this Contract in conformance with the conditions of the Contract Documents and substantially complete no later than FRIDAY, 30 JUNE 2023.
29. During the bidding period, questions shall be submitted and answered by email, and copies will be distributed to BIDDERS of record. The deadline for questions is Tuesday, 03 January 2023, by 10 am.

Submit questions to OPM Joe Mulé, Director: jmule@lancasterma.net
30. Include distinct qualities about your Firm's approach to design and construction that are superior to competitors.

END OF DOCUMENT

EVALUATION CRITERIA OF WRITTEN PROPOSALS

The following criteria, listed in random order, are likely to be considered in evaluating Firms to be interviewed based on written proposal submissions to include:

1. Compliance with the submission requirements.
2. The quality of the proposal, project approach, and organization.
3. The Firm's ability to begin immediately after the Notice to Proceed and complete work within the given period as outlined on the attached schedule.
4. The success of completed projects, including adherence to schedule and budget.
5. The satisfaction of former or present institutional clients.

END OF DOCUMENT EVALUATION CRITERIA OF WRITTEN PROPOSALS

DOCUMENT 00 41 00 – BID FORM

1. Submit bids in compliance with DOCUMENT 00 20 00 – INSTRUCTIONS TO BIDDERS. The OWNER reserves the right to reject incomplete bid forms.
2. Project Name: THAYER MEMORIAL LIBRARY – RFP# 2023-003, WINDOW RESTORATION SERVICES.
3. Project OWNER: Town of Lancaster, MA.
4. Name of BIDDER: _____
5. Base Bid, Single-Prime (All Trades) Contract:

The undersigned BIDDER, having carefully examined the Drawings and all subsequent Addenda, as prepared by the Spencer Preservation Group, having visited the site, and being familiar with all conditions and requirements of the Work, hereby agrees to furnish all material, labor, equipment, and services, including all scheduled allowances, necessary to complete the construction of the project named above for the stipulated sum of equal or less than \$35,000.

TOTAL BASE BID _____ Dollars \$ _____
Written Numerical

6. The undersigned BIDDER acknowledges receipt of and use of the following Addenda in the preparation of this Bid:

Addendum No. 1, dated: _____

Addendum No. 2, dated: _____

Addendum No. 3, dated: _____

7. The undersigned further states that it is a duly licensed contractor for the type of work proposed in the Commonwealth of Massachusetts and that all fees, permits, etc., pursuant to submitting this proposal, have been paid in full.

8. SUBMISSION OF BID

Respectfully Submitted by Friday, 13 January 2023, by 10 am.

Submitted By: _____
(Name of bidding Firm or corporation)

Authorized Signature: _____
(Handwritten signature)

Signed By: _____
(Type or print name)

Title: _____
(Partner/President/Vice President)

Attest: _____
(Handwritten signature)

By: _____
(Type or print name)

Street Address: _____

City, State, Zip: _____

Phone: _____

License Number:_____

Federal ID Number:_____

BIDDER's Project Manager to Be Assigned to the Project (name and brief summary of experience):

Name:_____

List of Bid Qualifications by BIDDER (If any):

END OF DOCUMENT

SECTION 00 44 40 – CONTRACTOR’S QUALIFICATIONS

PART 1 - GENERAL

1. BID INFORMATION

BIDDER: _____

Project Identification: RFP: 2023-003: WINDOW RESTORATION SERVICES

Project Location: 717 Main Street, Lancaster, MA 01523

OWNER: TOWN OF LANCASTER

The OWNER is a tax-exempt organization. The tax exemption shall be available to the BIDDER and must be considered part of the bid.

Architect: Spencer Preservation Group, 41 Valley Road, Nahant, MA 01908

2. BID FORM SUPPLEMENT

This form is required to be attached to the Bid Form.

All BIDDERS must demonstrate and document past successful experience with work on at least three (3) historic buildings listed on the State Register of Historic Places with similar conditions in the last five years.

For each project, list the property address, contact information for the Designer and owner, the approximate value of the work and date of completion, and a brief description of the scope of work.

PREVIOUS PROJECTS (attach as needed additional references and projects)

PROJECT ONE

Project Name and Address: _____

Architect/Designer (Name and Phone): _____

Architect/Designer (Name and Phone): _____

Date of Completion: _____

Architect/Designer (Name and Phone): _____

The project owner (Name and Phone): _____

Brief description of the project: _____

PROJECT TWO

Project Name and Address: _____

Architect/Designer (Name and Phone): _____

Architect/Designer (Name and Phone): _____

Date of Completion: _____

Architect/Designer (Name and Phone): _____

The project owner (Name and Phone): _____

Brief description of the project: _____

PROJECT THREE

Project Name and Address: _____

Architect/Designer (Name and Phone): _____

Architect/Designer (Name and Phone): _____

Date of Completion: _____

Architect/Designer (Name and Phone): _____

The project owner (Name and Phone): _____

Brief description of the project: _____

END OF SECTION 00 44 40

SECTION 01 10 00 – SUMMARY OF WORK

PART 1 - GENERAL

1. WORK COVERED BY CONTRACT DOCUMENTS

1.1 Project Identification: RFP: 2023-003: WINDOW RESTORATION SERVICES

Project Location: 717 MAIN STREET, LANCASTER, MA 021523

1.2 OWNER: TOWN OF LANCASTER

1.3 The Contract Documents consist of the following and define the Work of RFP: 2023-003:
WINDOW RESTORATION SERVICES.

1.4 Restoration of designated casement windows with transoms, including adding storm windows.
Window restoration includes preparing and painting existing metal railings at the exterior of the window opening.

1.5 Provide secure and weathertight protection of the subject windows opening during the work.

1.6 All materials and items incorporated into the project shall become the OWNER's property upon completion of the said project and will be exempt from the Massachusetts Sales Tax. The General Contractor shall obtain from the OWNER the Sales Tax Exemption Number applicable for the project and shall include said number when ordering materials.

1.7 Dimensions: Work relates to existing conditions. Drawings have been prepared that indicate the scope and range of work. The contractor shall verify the dimensions shown on drawings with field dimensions before fabrication or ordering materials. DO NOT SCALE DRAWINGS.

1.8 Existing Conditions: Notify the Architect of existing conditions differing from those indicated on the drawings. Do not remove or alter structural components without prior written approval.

1.9 Installation Requirements, General:

1.9.1 Install materials in exact accordance with the manufacturer's instructions and approved submittals.

1.9.2 Install materials in proper relation with adjacent construction and with proper appearance.

1.9.3 Restore adjacent finishes damaged during installation.

1.9.4 Refer to additional installation requirements and tolerances specified under individual specification sections.

1.10 Limit work use within and without the Library as required by coordination with the OWNER. Keep driveways and entrances to the building site clear.

1.11 Maintain an existing building in a weathertight condition—repair damage caused by construction operations. Interior construction dust and debris shall be limited to the areas of construction. Block exterior construction dust and debris from entering the building.

1.12 Definitions:

1.12.1 Provide: Furnish and install, complete with all necessary accessories, ready for the intended use. Pay for all related costs.

1.12.2 Approved: Acceptance of item submitted for approval. Not a limitation or release for

compliance with the Contract Documents or regulatory requirements. Refer to limitations of 'Approved' in General and Supplementary Conditions.

1.12.3 Match Existing: Match existing as acceptable to the Architect.

1.12.4 Intent: Drawings and specifications are intended to provide the basis for properly completing the work suitable for the OWNER's intended use. Anything not expressly set forth but reasonably implied or necessary for the proper project performance shall be included.

2. USE OF PREMISES

2.1 General: Contractor shall have limited use of premises for construction operations.

2.2 Use of Site: Limit use of premises to areas within the Contract limits indicated. Do not disturb portions of the project site beyond indicated areas.

2.2.1 Limits: Confine construction operations to the indicated property area.

2.2.2 OWNER Occupancy: Allow for the OWNER's unrestricted use of the building. Coordinate work schedule with Library operating hours to avoid disruption of regular operation of the Library.

2.2.3 Driveways and Entrances and Accessible Parking Spaces: Keep driveways and entrances and accessible parking spaces serving premises clear and available to the OWNER, the OWNER's employees, the public, and emergency vehicles at all times. Do not use these areas for parking or storage of materials.

2.2.3.1 Schedule deliveries to avoid the use of driveways and entrances.

2.2.3.2 Schedule deliveries to avoid space and time requirements for storage of materials and equipment on-site.

3. WORK RESTRICTIONS

3.1 Non-smoking Building: Smoking is not permitted within the building or 25 feet of entrances, operable windows, or outdoor air intakes.

4. SPECIFICATION FORMATS AND CONVENTIONS

4.1 Specification Format: The Specifications are organized into Divisions and Sections using the 16-division format and CSI/CSC's "MasterFormat" numbering system.

4.1.1 Division 01: Sections in Division 01 govern the execution of the Work of all Sections in the Specifications.

4.2 Specification Content: The Specifications use certain conventions for the style of language and the intended meaning of specific terms, words, and phrases when used in particular situations. These conventions are as follows:

4.2.1 Abbreviated Language: The language used in the Specifications and other Contract Documents is abbreviated. Words and meanings shall be interpreted as appropriate. Words implied but not stated shall be inferred, as the sense requires. Singular words shall be understood as plural, and plural words shall be understood as singular where applicable, as the context of the Contract Documents indicates.

4.2.2 Imperative mood and streamlined language are generally used in the Specifications. Requirements expressed in the imperative mood are to be performed by the Contractor. Occasionally, the indicative or subjunctive mood may be used in the

Section Text for clarity to describe responsibilities that must be fulfilled indirectly by the Contractor or by others when so noted.

4.2.2.1 The words "shall," "shall be," or "shall comply with," depending on the context, are implied within a sentence or phrase.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

END OF SECTION 01 10 00

SECTION 08 01 52- HISTORIC WOOD WINDOW RESTORATION

PART 1 - GENERAL

1 SUMMARY

1.1 Section Includes:

1.1.1 Preservation of historic wood windows.

1.1.2 Preservation of wood window frames and trim.

1.1.3 Epoxy consolidation of sills.

2 Related Sections:

2.1 Division 09 Section "Painting"

3 DEFINITIONS

3.1 Window: Includes window frame, sash, sill, and brick moulding.

4 SUBMITTALS

4.1 Product Data for each type of product indicated.

4.2 Shop Drawings for repair and replacement of historic windows and components. Show the location and extent of replacement work, with enlarged details of replacement parts indicating materials, profiles, joinery, reinforcing, method of splicing into or attaching to the existing wood window, accessory items, and finishes. Use the provided window condition note pages for each window to indicate work or variation from the anticipated scope.

4.3 Samples:

4.4 The wood used for replacement.

4.4.1 12" length showing grain and tooling for wood component replacement. Mark wood species.

4.4.2 12" length showing profile to match existing muntin profile.

4.5 The glass used for replacement.

4.5.1 4" square piece of single-glazed glass.

4.6 Weatherstripping for head, jamb, and sill.

4.7 Joint sealant & manufacturer's standard color physical samples.

5 QUALITY ASSURANCE

5.1 Restoration Specialist Qualifications: Engage an experienced window restoration firm to perform work in this Section. The firm shall have completed work on three projects within the last five years on projects listed on the State or National Register of Historic Places similar in material, design, and extent to that indicated for this Project with a record of successful in-service performance. Experience installing replacement windows is not sufficient experience for window restoration work.

5.2 Restoration Worker Qualifications: Persons who are experienced in restoration work of the types they will be performing.

6 AWI Quality Standard: Comply with applicable requirements in AWI's "Architectural Woodwork

Quality Standards" for construction, finishes, grades of wood windows, and other conditions.

- 7 Preinstallation Conference: With the OPM present and after awarded and completing contract negotiations, the given Contractor shall conduct a conference at the Project site with the OPM present.

PART 2 – PRODUCTS

1. REPLACEMENT GLASS MATERIALS

1.1 Wood Windows:

1.2 FLOAT GLASS: ASTM C 1036, Type I, Quality-Q3, Class I (clear) unless otherwise indicated.

1.2.1 Thickness: To match existing.

1.2.2 Special coatings: N/A

2 GLAZING PUTTY

2.1 Putty is the best quality pure linseed or other vegetable oil putty.

2.1.1 Products: Subject to compliance with requirements, provide the following:

2.2 Sarco; Multi-Glaze type "M" or approved equal.

3 REPLACEMENT WOOD MATERIALS

3.1 Wood: Clear fine-grained lumber; kiln dried to a moisture content of 6 to 12 percent at the time of fabrication; free of visible finger joints, blue stain, knots, pitch pockets, and surface checks larger than 1/8 inch deep by 2 inches wide.

3.1.1 Species: Heart Pine, Spanish Cedar, or Mahogany

4 WOOD REPAIR MATERIALS

4.1 Wood Consolidant: Ready-to-use product designed to penetrate, consolidate, and strengthen soft fibers of wood materials that have deteriorated due to weathering and decay and explicitly designed to enhance the bond of the wood-patching compound to existing wood.

4.1.1 Products: Subject to compliance with requirements, provide the following:

4.1.1.1 Abatron, Inc.; LiquidWood.

4.1.1.2 ConServ Epoxy LLC; Flexible Epoxy Consolidant 100.

4.1.1.3 Wood Care Systems; ROTFIX.

4.2 Wood-Patching Compound: Two-part epoxy-resin wood-patching compound; knife-grade formulation as recommended by the manufacturer for type of wood repair indicated, tooling time required for the detail of work, and site conditions. The compound shall be designed to fill voids in damaged wood materials that have deteriorated due to weathering and decay. The compound shall be capable of filling deep holes and spreading to a feather edge.

4.2.1 Products: Subject to compliance with requirements, provide the following:

4.2.1.1 Abatron, Inc.; LiquidWood with WoodEpoxy.

4.2.1.2 Advanced Repair Technology, Inc.; Primatrate with Flex-Tec HV.

4.2.1.3 West System Inc.; West System.Epoxy Adhesive

4.2.1.4 Araldite, Huntsman International LLC, New Hampshire

5 WINDOW HARDWARE

5.1 General: All intact hardware will be cleaned, lubricated and reinstalled on the window it was mounted to before the beginning of work.

5.2 All window hardware shall smoothly operate, tightly close, and securely lock wood windows.

5.3 Window Hardware Finishes: Comply with BHMA A156.18 for base material and finish requirements indicated.

6 WEATHERSTRIPPING

6.1 Compression-Type Weather Stripping: Bronze compressible weather stripping designed for permanently resilient sealing under bumper or wiper action; wholly concealed when the window is closed.

6.2 Sweep Weather Stripping: Woven-pile weather stripping of wool, polypropylene, or nylon pile and resin-impregnated backing fabric, complying with AAMA 701/702.

6.2.1 Weather Seals: Elastomeric preformed seal with integral barrier fin or fins of semi-rigid, polypropylene sheet, or polypropylene-coated material.

7 MISCELLANEOUS MATERIALS

7.1 Borate Preservative Treatment: Inorganic, borate-based solution, with disodium octaborate tetrahydrate as the primary ingredient; manufactured for preserving weathered and decayed wood from further damage by decay fungi and wood-boring insects; complying with AWWA P5; containing no boric acid.

7.2 Cleaning Materials:

7.2.1 Detergent Solution: The solution is prepared by mixing 2 cups of tetrasodium polyphosphate, 1/2 cup of laundry detergent that contains no ammonia, 5 quarts of 5 percent sodium hypochlorite bleach, and 15 quarts of warm water for every five gals of solution required.

7.2.2 Mildewcide: Provide commercial proprietary mildewcide or a solution prepared by mixing 1/3 cup of household detergent with no ammonia, 1 quart of 5 percent sodium hypochlorite bleach, and 3 quarts of warm water.

7.3 Adhesives: Wood adhesives for exterior exposure, with a minimum 15- to 45-minute cure at 70 deg F, in gunnable and liquid formulations as recommended by the adhesive manufacturer for each type of repair.

7.4 Metal Fasteners: No metal fasteners in visible locations. Use metals that are noncorrosive and compatible with each material joined.

7.4.1 Match existing fasteners in material and type of fastener unless otherwise indicated.

7.5 Elastomeric Joint Sealant: ASTM C 920.

7.5.1 Manufacturers: Subject to compliance with requirements, provide products by one of the following:

7.5.1.1 Pecora Corporation.

7.5.1.2 Sika Corporation; Construction Products Division.

7.5.1.3 Tremco Incorporated.

7.5.2 Type: Single component (S) or multicomponent (M).

7.5.3 Grade: nonsag (NS).

7.5.4 Class: A.

7.5.5 Uses Related to Exposure: Nontraffic (NT).

7.5.6 Joint Locations:

7.5.6.1 Joints between wood & stone where the sealant is indicated.

7.5.6.2 Joints between wood and other materials where the sealant is indicated.

7.5.7 Joint-Sealant Color: As selected by Architect from the manufacturer's full range of opaque colors

PART 3 - EXECUTION

1. PREPARATION

1.1 Protect adjacent materials from damage by historical treatment of windows.

1.2 Stabilize windows with loose or weakened pieces before moving.

1.3 Clean existing windows of mildew, algae, moss, plant material, loose paint, grease, dirt, and other debris by scrubbing with a bristle brush or sponge and detergent solution. Scrub mildewed areas with mildewcide. After cleaning, rinse thoroughly with fresh water. Allow drying before repairing or painting.

1.4 Condition replacement wood members to prevailing conditions at installation areas before

installation.

1.5 Provide temporary enclosures to openings during work on windows.

1.6 Secure to prevent weather and intrusion

1.7 Repair damage related to temporary install

1.8 30% of temporary protection in each room shall be transparent.

2 HISTORIC TREATMENT PROCEDURES, GENERAL

2.1 General: Have historical window treatment directed and performed by a qualified historic treatment specialist. Remove the window from opening, protect the opening from weather and repair the window on a horizontal surface and then reinstall. In treating historical items, disturb them as minimally as possible and as follows:

2.1.1 Stabilize and repair windows to reestablish structural integrity and weather resistance while maintaining the existing form of each item.

2.1.2 Remove coatings from the exterior to expose areas requiring repair and to expose and arrest deterioration, including applying borate preservative treatment before repair. Remove all interior coatings on the sash to have a transparent finish applied. Otherwise, treat removal as for exterior.

2.1.3 Replace or reproduce historic items where indicated or scheduled.

2.2 Mechanical Abrasion: Do not use abrasive methods such as sanding, wire brushing, or power tools except as approved by Architect.

2.3 Repair or Replacement of Existing Hardware: Dismantle window hardware; repair to proper operation.

2.3.1 Replace broken hardware with pre-approved replacement hardware.

3 REPAIR WOOD WINDOWS:

3.1 Match existing materials and features, retaining as much original material as possible to perform repairs.

3.2 Unless otherwise indicated, repair wood windows by consolidating, patching, splicing, or otherwise reinforcing wood with new wood matching existing wood or with salvaged, sound, original wood.

3.3 Where indicated, repair wood windows by limited replacement matching existing material.

3.4 Protection of Openings: Where sash or windows are indicated for removal, cover resultant openings with temporary enclosures so that openings are weathertight during the repair period.

3.5 Identify removed windows, sash, and members with a numbering system corresponding to window locations to ensure reinstallation in the exact location—key windows, sash, and members to Drawings showing the location of each removed unit. Permanently stamp units in a location that will be concealed after reinstallation.

4 WOOD PATCH-TYPE REPAIR

4.1 General: Patch wood members that are damaged and exhibit depressions, holes, or similar voids and have limited rotted or decayed wood.

- 4.1.1 Treat wood members with wood consolidant before application of patching compound. Allow treatment to harden before filling the void with a patching compound.
- 4.1.2 Remove rotted or decayed wood down to sound wood.
- 4.2 Apply borate preservative treatment to accessible surfaces either before applying wood consolidant or after removing rotted or decayed wood.
- 4.3 Apply wood-patching compound to fill depressions, nicks, cracks, and other voids created by removed or missing wood.
 - 4.3.1 Apply patching compound in layers as the manufacturer recommends until the void is filled.
 - 4.3.2 Finish the patch surface to match the contour of the adjacent wood member. The sand patching compound is smooth and flush, the matching contour of the existing wood member.

5 WOOD MEMBER-REPLACEMENT REPAIR

- 5.1 General: Replace parts of or entire wood window members at locations indicated on Drawings and where damage is too extensive to patch.
 - 5.1.1 Remove sash from windows before performing member-replacement repairs unless otherwise indicated.
 - 5.1.2 Remove broken, rotted, and decayed wood down to sound wood.
 - 5.1.3 Custom fabricate new wood to replace missing wood; either replace the entire wood

member or splice the new wood part into an existing member. Fabricate replacement members according to AWI Section 1000 requirements for Custom Grade.

5.1.4 Secure new wood using multiple dowels with adhesive to ensure maximum structural integrity at each splice. Use only concealed fasteners.

5.1.5 Apply borate preservative treatment to accessible surfaces after replacements are made.

5.2 Repair remaining depressions, holes, or similar voids with patch-type repairs.

5.3 Glazing: Remove glazing putty and glass. Install new glazing putty with a tapered finish to match the existing one.

5.4 Reinstall units removed for repair into original openings.

5.5 Weather Stripping: Replace and install weather stripping to ensure full-perimeter and meeting rail weather stripping for each operable sash and as indicated on the approved mock-ups, sample repairs, and Drawings.

5.6 Sealant: apply elastomeric sealant at wood brick mould to the masonry joint.

SECTION 08 53 00 – STORM WINDOWS

PART 1 - GENERAL

1 SCOPE

1.1 The drawings and general provisions of the Contract, including General and Supplementary Conditions, Division 1 Specification Sections, and relevant sections of these Specifications, apply to the work specified in this Section.

2 WORK INCLUDED

2.1 Furnish and install low-profile storm windows, complete with hardware, fasteners, and related components, as required for a complete installation. Storm windows shall be installed on the exterior side of the primary windows.

3 SUBMITTALS

3.1 Shop Drawings: Submit drawings under provisions of Section 01 30 00. Include dimensions, relationships to the construction of adjacent work, component anchorage, type of caulking, window locations, installation methods, and materials. Dimensions of all windows and components will be the successful BIDDER's responsibility.

3.2 Samples: Submit color samples for Architects' review and approval on actual aluminum extrusion.

3.3 Test Reports: Submit Independent Laboratory Test Reports verifying windows meet the specified requirements for air leakage, water resistance, uniform structural load, and deglazing.

3.4 Operation and Maintenance Data: Include methods for maintaining installed products and precautions against cleaning materials and methods detrimental to finishes and performance.

4 QUALITY ASSURANCE

4.1 Qualifications: Fabrication shall be by a Window Manufacturer who can furnish evidence to the OWNER that it is, and has been for not less than five (5) consecutive years, regularly

engaged in the manufacturing of interior storm window units similar in design and performance to those specified for this Project.

5 WARRANTY

- 5.1 Product Warranty: The successful BIDDER shall furnish a positively written, non-prorated, and fully transferable warranty from the Window Manufacturer against defects in materials and workmanship of the storm window units under everyday use for five (5) years from the date of acceptance of the installed storm window units by the OWNER. The warranty shall state that the Window Manufacturer shall provide all materials required to repair or replace defective materials or workmanship. The warranty shall further state that parts used to manufacture the storm window units, or suitable replacements, shall be available throughout the warranty period.
- 5.2 Installation Warranty: The Successful BIDDER shall furnish a written warranty against defects in the installation workmanship and materials for three (3) years from the date of acceptance by the OWNER. Installation warranty work will be performed at no cost to the OWNER.

PART 2 – PRODUCTS

1. ACCEPTABLE MANUFACTURERS

1.1 Allied Storm Windows

11111 Canal Road
Cincinnati, OH 45241
Phone: 513-559-1883 Website: www.alliedwindow.com

1.2 Hi Storms, LLC

819 US 50, Suite C Milford, OH 45150
Phone: 513-444-4332 Website: www.historms.com

1.3 Quanta Technologies, Inc.

1036 New Holland Avenue
Lancaster, PA 17601
Phone: 855-782-6821 Website: www.quantapanel.com

2. DESCRIPTION

- 2.1 For the exterior mount storm window, the basis of design is Allied Window, Historic One Lite (HOL), and removable panel storm window for the exterior mount. Fixed half-round top, interchangeable screen, and glass panels below in aluminum master frame, with glass/screen assembly removable to the interior. Removable panels shall be easily removed and held in place with cam-action clips providing a posing seal between the master frame and panel frame, with a full-width bottom rail lift handle.
- 2.2 Aluminum: shall be commercial quality and of proper alloy for window construction free from defects impairing strength and durability. All straight extruded sections shall be of 6063-T5 alloy and temper and shall have a minimum ultimate tensile strength of 22,000 psi and yield of 16,000 psi.
- 2.3 Window members: all master frame and insert members shall be of extruded aluminum with a 3/8" x 1" dimension. Member wall nominal wall thickness shall be .062"—miter corners with extruded aluminum corner keys.
- 2.4 Frame and sash sightline: maximum 2 1/8"
- 2.5 Sill expander: shall be of "H" type with a minimum wall thickness of .062" and .125" web thickness and modified to permit weepage.
- 2.6 Finish: The exposed surfaces of all aluminum members shall be clean and free from severe surface blemishes. Standard finishes shall be electrostatically applied backed acrylic enamel in the manufacturer's standard color line. The painted finish shall meet AAMA 603.6.
- 2.7 Glass: shall be not less than "B" quality. Standard factory glazing shall be "DSB," 1/8".

Tempered glass shall be used as dictated by the size of panels and code location requirements.

2.8 Color: Provide storm windows in the manufacturer's standard color, "Colonial White."

2.9 Screens: Provide optional, interchangeable screens.

2.10 Attachment angles: provide attachment angles to prepare the opening to accept the masterframe because the existing condition does not provide adequate space to fasten the masterframe directly to wood window frames.

PART 3 – EXECUTION

1. EXAMINATION

1.1 BIDDERS are expected to visit the job site and make a complete survey of the Project before fabrication. The BIDDER will measure all storm window openings for proper sizing of the new storm windows. Failure to do so will not relieve the Successful BIDDER from the need to furnish all materials which may be required, in accordance with the Specifications, without any additional cost to the OWNER.

1.2 Inspect openings before installation to ensure surfaces are clean and dry. Verify that Storm openings are correct.

2. PREPARATION

2.1 Remove new storm window units from crating and packaging material. Verify that all parts and accessories are included. All storm window units and accessories shall be securely stored, upright, and protected from the weather.

2.2 Remove old storm windows and accessories from the window opening. Scrape and remove

existing sealant from the opening that will interfere with installing new storm windows.

3. INSTALLATION

3.1 Storm windows shall be installed in strict accordance with the Manufacturer's instructions and Shop Drawings.

3.2 Plumb and align storm window faces in a single plane with the existing window. Erect storm windows and accessories square and true.

3.3 Fasten windows to a straight, plumb, and level condition without distorting the windows.

3.4 Provide a setting bed of silicone caulk before window installation.

4. ADJUST AND CLEAN

4.1 Operate installed storm windows to ensure a proper installation has occurred. Make any appropriate adjustments.

4.2 Remove excess sealant, dirt, and window labels and wipe the dust off the frame and glass.

END OF SECTION 08 53 00

SECTION 09 90 00 – PAINTING

PART 1 - GENERAL

1. GENERAL PROVISIONS

1.1 Attention is directed to the CONTRACT AND GENERAL CONDITIONS and all Sections within DIVISION 01 - GENERAL REQUIREMENTS, which are hereby made a part of this Section of the Specifications.

1.2 This section includes surface preparation and the application of paint systems on restored windows.

1.2.1 Restored windows, including sash, frame, sills, and brick moulding. Interior casings are not part of the work. Note that sashes require a paint finish on the exterior and a stained and transparent finish to match the interior.

1.2.2 Prepare existing exterior metal railings at the window opening to SSPC-SP3, power tool clean, prime, and paint.

2. DEFINITIONS

2.1 MPI Gloss Level 1: Not more than five units at 60 degrees and ten units at 85 degrees, according to ASTM D 523.

2.2 MPI Gloss Level 3: 10 to 25 units at 60 degrees and 10 to 35 units at 85 degrees, according to ASTM D 523.

2.3 MPI Gloss Level 4: 20 to 35 units at 60 degrees and not less than 35 units at 85 degrees, according to ASTM D 523.

2.4 MPI Gloss Level 5: 35 to 70 units at 60 degrees, according to ASTM D 523.

2.5 MPI Gloss Level 6: 70 to 85 units at 60 degrees, according to ASTM D 523.

2.6 MPI Gloss Level 7: More than 85 units at 60 degrees, according to ASTM D 523.

3. ACTION SUBMITTALS

3.1 Product Data: For each type of product. Include preparation requirements and application instructions.

3.1.1 Include a printout of the current "MPI Approved Products List" for each product category specified, with the proposed product highlighted.

3.2 Samples: For each type of paint system and each color and gloss of topcoat.

4. QUALITY ASSURANCE

4.1 Mockups: Apply mockups of each paint system indicated and each color and finish selected to verify preliminary selections made under Sample submittals and demonstrate aesthetic effects, and set quality standards for materials and execution.

4.2 Provide a sample of full finish on sample wood.

4.2.1 Final approval of color selections will be based on mockups.

4.2.1.1 If preliminary color selections are not approved, apply additional mockups of additional colors selected by the Architect at no added cost to the OWNER.

PART 2 - PRODUCTS

1. MANUFACTURERS

1.1 Manufacturers: Subject to compliance with requirements, provide products by one of the following:

1.1.1 Sherwin-Williams Company

1.1.2 Benjamin Moore & Co.

2. PAINT, GENERAL

2.1 MPI Standards: Products shall comply with MPI standards indicated and shall be listed in its "MPI Approved Products Lists."

2.2 Material Compatibility:

2.2.1 Materials used within each paint system shall be compatible with one another and substrates indicated, under conditions of service and application as demonstrated by the manufacturer, based on testing and field experience.

2.2.2 For each coat in a paint system, products shall be recommended in writing by topcoat manufacturers for use in the paint system and on the substrate indicated.

2.3 VOC Content: For field applications, paints and coatings shall comply with the VOC content limits of authorities having jurisdiction and the following VOC content limits:

2.3.1 Flat Paints and Coatings: 50 g/L.

2.3.2 Nonflat Paints and Coatings: 50 g/L.

2.3.3 Dry-Fog Coatings: 150 g/L.

2.3.4 Primers, Sealers, and Undercoaters: 100 g/L.

2.3.5 Rust-Preventive Coatings: 100 g/L.

2.3.6 Zinc-Rich Industrial Maintenance Primers: 100 g/L.

2.3.7 Pretreatment Wash Primers: 420 g/L.

2.3.8 Shellacs, Clear: 730 g/L.

2.3.9 Shellacs, Pigmented: 550 g/L.

2.4 Colors: As selected by Architect from the manufacturer's full range.

PART 3: EXECUTION

1. EXAMINATION

1.1 Examine substrates and conditions, with the Applicator present, for compliance with requirements for maximum moisture content and other conditions affecting the performance of the Work.

1.2 Maximum Moisture Content of Substrates: When measured with an electronic moisture meter as follows:

1.2.1 Wood: 15 percent.

1.3 Verify the suitability of substrates, including surface conditions and compatibility with existing finishes and primers.

1.4 Proceed with the coating application only after unsatisfactory conditions have been corrected.

1.4.1 Application of coating indicates acceptance of surfaces and conditions.

2. PREPARATION

2.1 Comply with the manufacturer's written instructions and recommendations in the "MPI Architectural Painting Specification Manual" applicable to substrates and paint systems indicated.

2.2 Remove hardware, covers, plates, and similar items already in place that are removable and are not to be painted. If removal is impractical or impossible because of the size or weight of the item, provide surface-applied protection before surface preparation and painting.

2.2.1 After completing painting operations, use workers skilled in the trades involved to reinstall removed items. Remove surface-applied protection.

3. SURFACE PREPARATION

3.1 General: Perform preparation and cleaning procedures in strict accordance with the paint manufacturer's instructions and, as herein specified, for each particular substrate condition.

3.1.1 Clean surfaces to be painted before applying paint or surface treatments. Remove oil and grease before mechanical cleaning. Program cleaning and painting so that contaminants from the cleaning process will not fall onto wet, newly painted surfaces.

3.1.2 Scrape with hand tools on all surfaces exhibiting areas of loose paint or poor adhesion. Feather all rough edges with sandpaper to smooth the transition between paint layers of substrate. A sample of the desired quality level of scraping and sanding and

feathering shall be provided by the Contractor for approval by the Architect.

- 3.1.3 Clean wood surfaces to be refinished before applying stain, varnish, shellac, or other wood finishes.

3.2 Wood:

- 3.2.1 Remove all staples, fasteners, and non-historical unused appurtenances attached to trim, doors, and woodwork or varnish.
- 3.2.2 Clean wood surfaces to be painted of all dirt, oil, or other foreign substances with scrapers, mineral spirits, and sandpaper, as required. Sandpaper smooths those finishes surfaces exposed to view and dust off.
- 3.2.3 Caulk all open joints before painting.

4. APPLICATION

- 4.1 Apply paints according to the manufacturer's instructions and recommendations in "MPI Manual."
- 4.2 Apply paints to produce surface films without cloudiness, spotting, holidays, laps, brush marks, roller track, runs, sags, ropiness, or other surface imperfections. Cut in sharp lines and color breaks—complete coverage of all surfaces.
- 4.3 Apply additional coats when undercoats or other conditions show through the final coat of paint until the paint film is of uniform finish, color, and appearance.
- 4.4 All paints shall be applied by brush ONLY.

5. CLEANING AND PROTECTION

5.1 Protect the work of other trades against damage from paint application. Correct damage to work of other trades by cleaning, repairing, replacing, and refinishing, as approved by the Architect, and leave in an undamaged condition.

5.2 At the completion of construction activities of other trades, touch up and restore damaged or defaced painted surfaces.

6. EXTERIOR PAINTING SCHEDULE

6.1 Wood Substrates: Architectural woodwork and miscellaneous trim, doors and door frames, window and window frames, both new and previously painted surfaces.

6.1.1 Latex System MPI EXT 6.3A

6.1.1.1 Prime Coat: Primer, alkyd for exterior wood, MPI #5.

6.1.1.1.1 Benjamin Moore, 'Super Spec,' Alkyd Exterior Primer, 176/K176.

6.1.1.1.2 Sherwin Williams, 'A-100,' Exterior Fast Dry Stain Blocking Alkyd Primer, Y24WB8005.

6.1.2 Intermediate Coat: Latex, exterior, matching topcoat.

6.1.3 Topcoat: Latex, exterior, semi-gloss (MPI Gloss Level 5), MPI #11.

6.1.3.1 Sherwin Williams, 'Duration' Exterior 100% Latex Semi-Gloss.

6.1.3.2 Benjamin Moore, 'Ultra Spec,' Waterborne Exterior Gloss, N449/K449.

6.2 Transparent finish, interior:

6.2.1 Minwax Performance Series Tintable Wood Stain 250 VOC

6.3 Exterior, Metal Railings:

6.3.1 Primer: Sherwin Williams Kem-Bond HS High Solids Alkyd Universal Metal Primer

6.3.2 Topcoats: Sherwin Williams Pro-Industrial High-Performance Acrylic – Semi-Gloss.

END OF SECTION 09 90 00

THAYER MEMORIAL LIBRARY – WINDOW RESTORATION

717 Main Street, Lancaster, MA 01523

AUGUST 31, 2022

PROJECT TEAM:

ARCHITECT:

SPENCER PRESERVATION GROUP

41 VALLEY ROAD | SUITE 211B

NAHANT, MA 01908

(617) 227-2675

www.SpencerPreservationGroup.com

DRAWING INDEX:

ARCHITECTURAL	
A0	COVER SHEET
A1	WINDOW LOCATION
A2	WINDOW DETAILS
A3	STORM WINDOW DETAILS



1 EXTERIOR PHOTO - WEST



2 PROJECT LOCATION

46/49

SPENCER PRESERVATION GROUP

PRESERVATION ARCHITECTS

41 Valley Road | Suite 211B

Nahant, MA 01908

(617) 227-2675

www.SpencerPreservationGroup.com

OWNER:

TOWN OF LANCASTER

701 MAIN STREET

LANCASTER, MA 01523

PROJECT: #0000

THAYER MEMORIAL LIBRARY

WINDOW RESTORATION

717 MAIN STREET

LANCASTER, MA 01523

OUTPUT:

LINEWEIGHT CHECK

COLOR CHECK

SHEET CHECK

TRANSPARENCY CHECK

PRINT SIZE CHECK

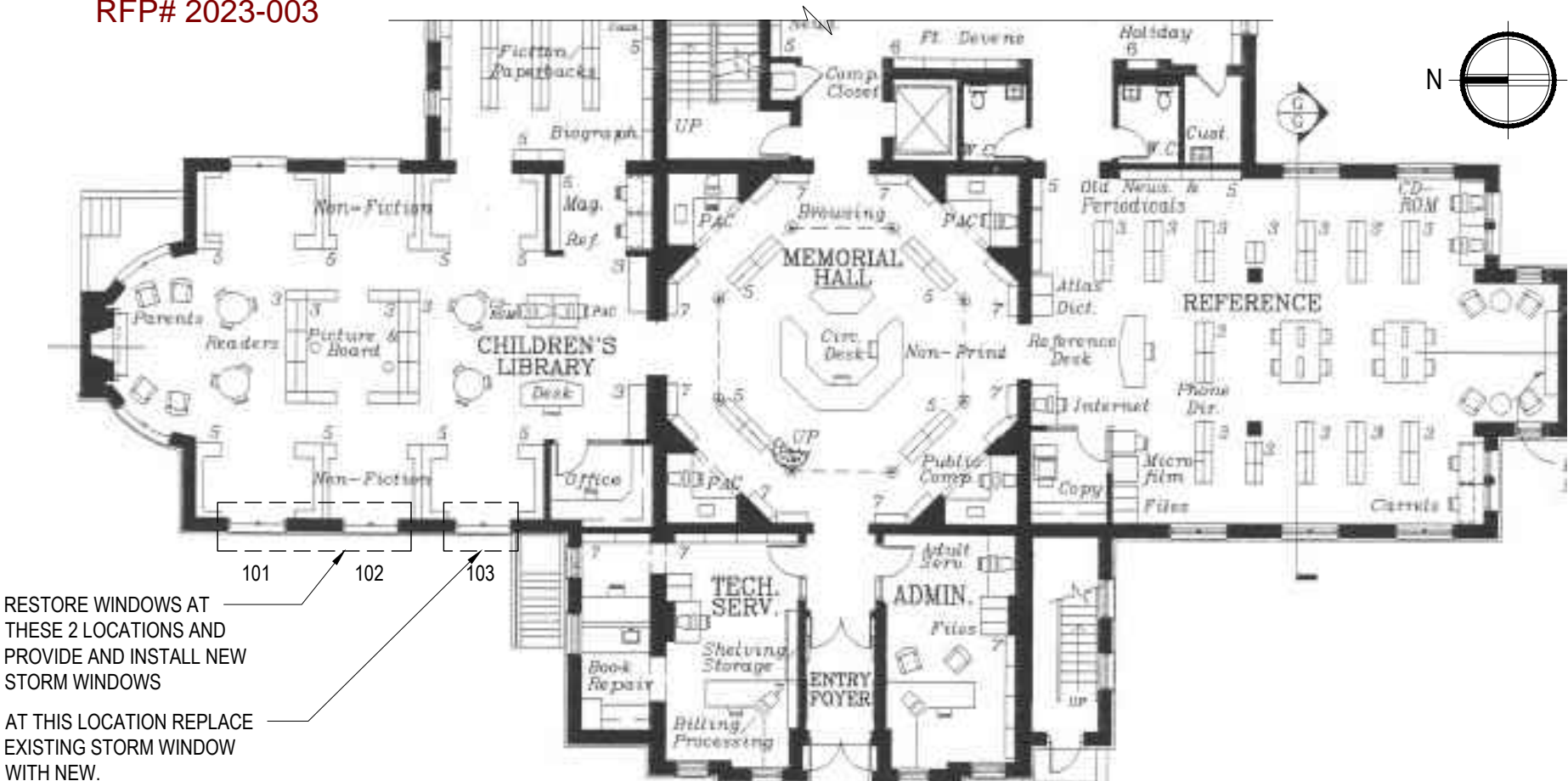
FULL SIZE SET MEASURES 1"

STATUS:	
01 BID SET	AUG 31, 2022

SEAL:

TITLE: COVER SHEET

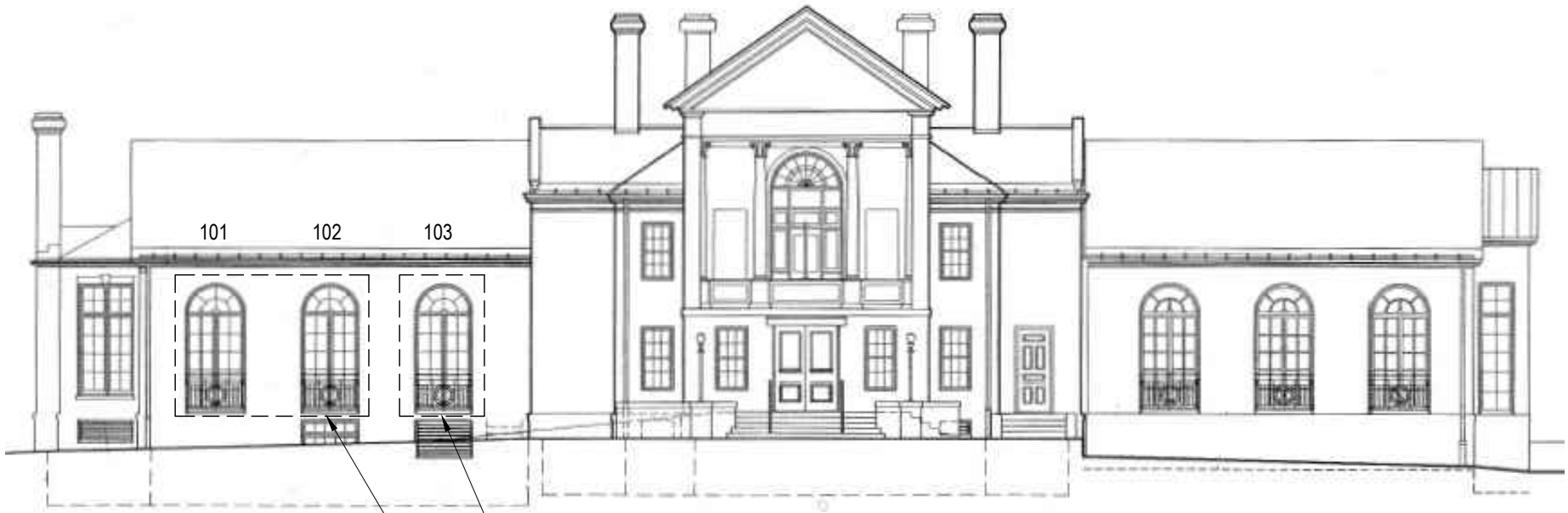
SHEET: A0



RESTORE WINDOWS AT THESE 2 LOCATIONS AND PROVIDE AND INSTALL NEW STORM WINDOWS

AT THIS LOCATION REPLACE EXISTING STORM WINDOW WITH NEW.

1 FIRST FLOOR PLAN
NOT TO SCALE



AT THESE LOCATIONS RESTORE EXISTING PRIMARY WINDOWS AND PROVIDE AND INSTALL NEW STORM WINDOWS. PREP AND PAINT EXISTING METAL EXTERIOR RAILINGS

AT THIS LOCATION, REPLACE EXISTING STORM WINDOW WITH NEW

2 WEST ELEVATION
NOT TO SCALE

RESTORE EXISTING WOOD WINDOWS AT DESIGNATED LOCATIONS. PROVIDE AND INSTALL NEW STORM WINDOW.

PREP AND PAINT EXISTING METAL RAILINGS AT WINDOW 101 AND 102 LOCATIONS



3 EXTERIOR PHOTO
NOT TO SCALE




4 INTERIOR PHOTO
NOT TO SCALE

47/49



Spencer Preservation Group
PRESERVATION ARCHITECTS
41 Valley Road | Suite 211B
Nahant, MA 01908
(617) 227-2675
www.SpencerPreservationGroup.com

OWNER:





TOWN OF LANCASTER
701 MAIN STREET
LANCASTER, MA 01523


PROJECT: #0000


THAYER MEMORIAL LIBRARY
WINDOW RESTORATION
717 MAIN STREET
LANCASTER, MA 01523

OUTPUT:

LINEWEIGHT CHECK


COLOR CHECK


SHEET CHECK


TRANSPARENCY CHECK


PRINT SIZE CHECK FULL SIZE SET MEASURES 1"

STATUS:

01	BID SET	AUG 31, 2022

NEW
↑
OLD

SEAL:

NOT FOR PERMITTING
REVIEW
NOT FOR CONSTRUCTION

TITLE:
WINDOW LOCATION

SHEET:
A1



41 Valley Road | Suite 211B
Nahant, MA 01908
(617) 227-2675

www.SpencerPreservationGroup.com

OWNER:



701 MAIN STREET
LANCASTER, MA 01523

PROJECT:	#0000
----------	-------

THAYER MEMORIAL
LIBRARY

WINDOW RESTORATION

717 MAIN STREET
LANCASTER, MA 01523

OUTPUT:

LINEWEIGHT
CHECK



**ANSI B
11" x 17"**

FULL :

PRINT SIZE
CHECK

← FULL MEAS

STATUS:

			NEW ↑ OLD
01	BID SET	AUG 31, 2022	

SEAL:

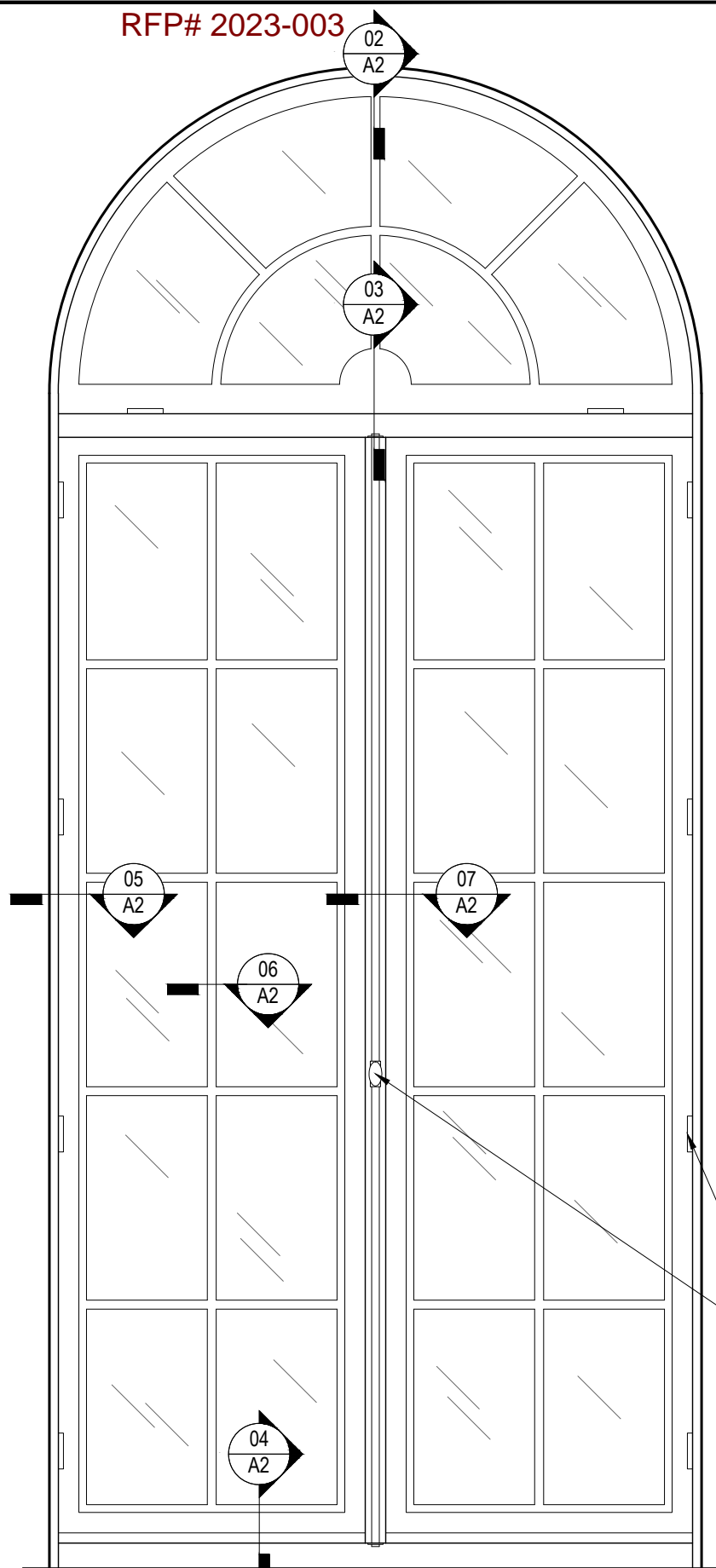
**NOT FOR PERMITTING
REVIEW
NOT FOR CONSTRUCTION**

TITLE:

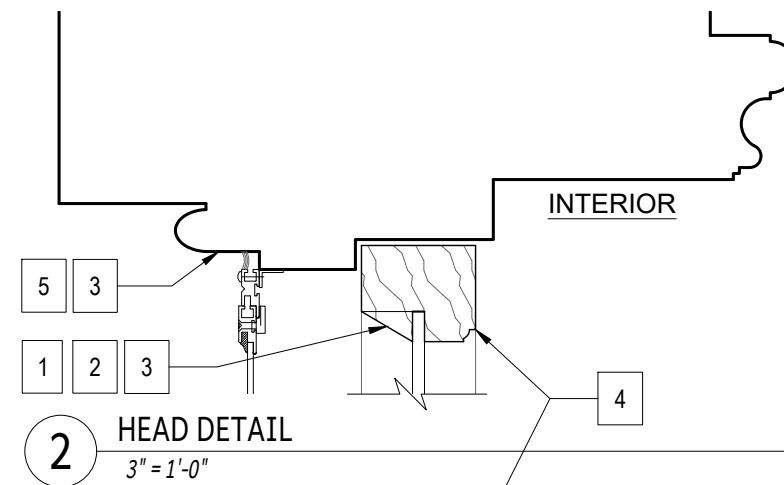
WINDOW DETAILS

SHEET:

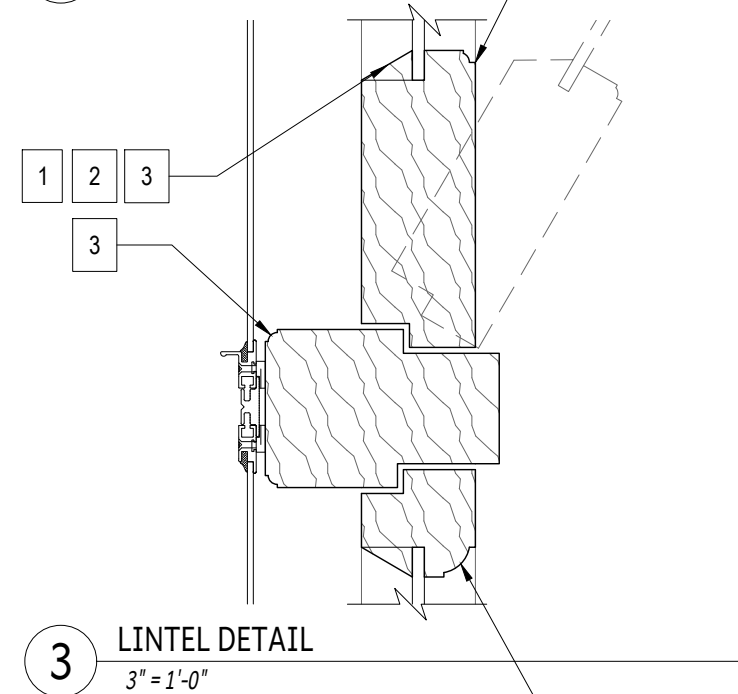
A2



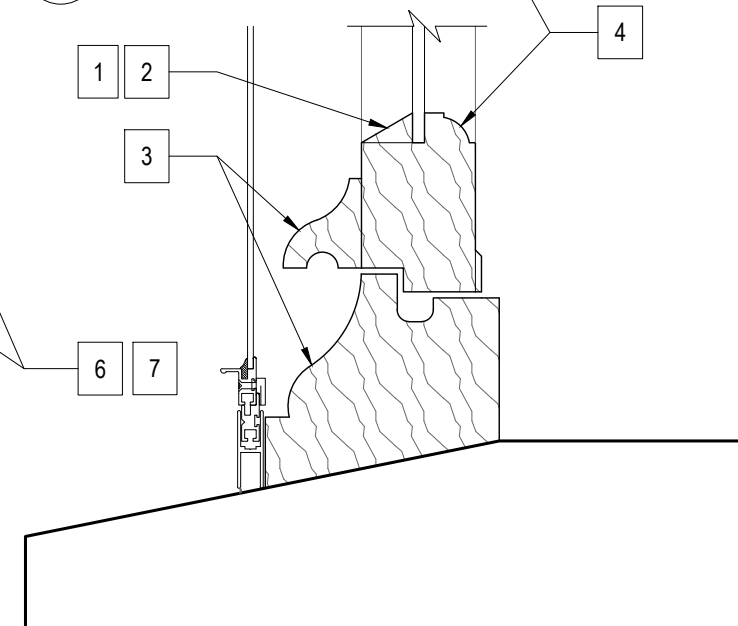
1 WINDOW ELEVATION - TYPE A
3/4" = 1'-0"



2 HEAD DETAIL
 $3'' = 1'-0''$



3 LINTEL DETAIL
3" = 1'-0"

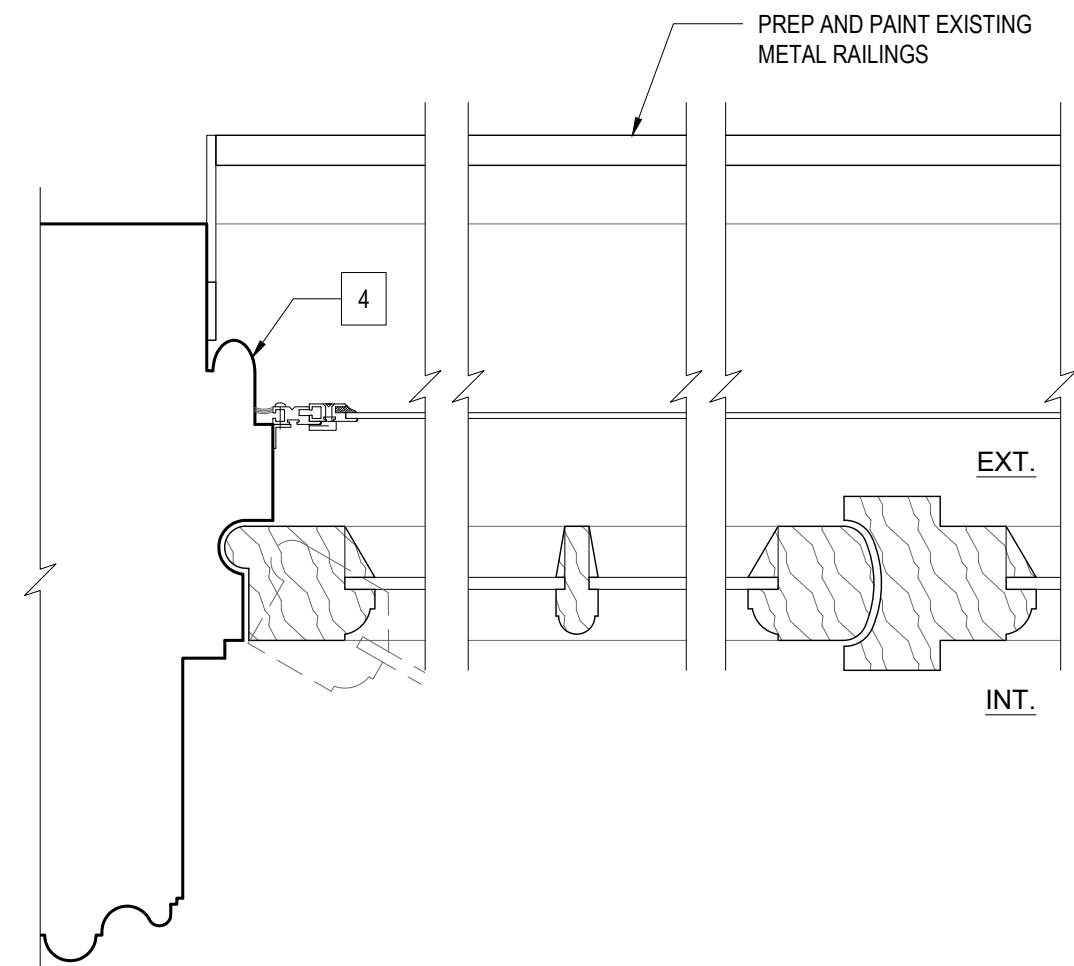


4 SILL DETAIL
3" = 1'-0"

INTERIOR

WINDOW RESTORATION SCOPE:

1. REMOVE EXISTING GLAZING AND PUTTY
2. RE-SET GLASS AND APPLY NEW PUTTY
3. REMOVE ALL LOOSE PAINT AT EXTERIOR; PREP AND PAINT EXTERIOR OF SASH AND FRAME
4. RE-FINISH EXISTING TRANSPARENT FINISH ON SASH
5. APPLY NEW SEALANT AT BRICKMOULD
6. CLEAN AND LUBRICATE EXISTING CREMONE BOLTS AND HINGES
7. POLISH HARDWARE TO RESTORE SHINE TO FINISH



5 JAMB DETAIL
3" = 1'-0"

6 MUNTIN
3" = 1'-0"

7 INTERLOCK
3" = 1'-0"



- REMOVABLE GLASS PANELS

PROVIDE INTERCHANGEABLE
SCREEN PANEL AND GLASS
PANEL AT THIS LOCATION

- ALIGN HORIZONTAL STORM WINDOW MULLIONS WITH HORIZONTAL MUNTINS AT THE PRIMARY WINDOW.

- REMOVABLE GLASS PANELS



Spencer Preservation
Group

PRESERVATION ARCHITECTS

41 Valley Road | Suite 211B
Nahant, MA 01908
(617) 227-2675

www.SpencerPreservationGroup.com

OWNER:



TOWN OF LANCASTER

701 MAIN STREET
LANCASTER, MA 01523


PROJECT: #0000

THAYER MEMORIAL
LIBRARY


WINDOW RESTORATION
717 MAIN STREET
LANCASTER, MA 01523

OUTPUT:


LINEWEIGHT
CHECK




SHEET
CHECK




PRINT SIZE
CHECK



COLOR
CHECK



TRANSPARENCY
CHECK



STATUS:		NEW ↑ OTD
01	BID SET	

SEAL:

TITLE:
STORM WINDOW DETAILS

SHEET:

A3

**NOT FOR PERMITTING
REVIEW
NOT FOR CONSTRUCTION**

VI. HISTORIC & CULTURAL RESOURCES

BACKGROUND

Lancaster's historic and cultural tradition is at the centerpiece of its community. Lancaster is the oldest town in Worcester County, and was the original "mother" town for much of central Massachusetts, including what are now Leominster, Sterling, Harvard, Bolton, Clinton, Berlin, Boylston, and West Boylston. The first early settlers came to what is now Lancaster in 1642, and the Town was officially incorporated in 1653 with nine families.

Lancaster was founded by John Prescott, who gave the Town its name based upon his home town in England. Lancaster was home to Mary Rowlandson, who was captured by the Native American's in the attack on the Rowlandson Garrison during King Philip's War. She survived and went on to write a book about her captivity – a book which is considered to be one of the greatest captivity narratives ever written. Lancaster's elementary school is named after Mary Rowlandson. Lancaster was also home to Luther Burbank (1849-1926), the American horticulturalist who developed the Idaho potato credited with helping Ireland recover from its great famine, and the Shasta daisy. Lancaster's middle school is named after Luther Burbank.

John Chapman, who came to be known as Johnny Appleseed, was born in the section of Lancaster that was incorporated as Leominster in 1740. John Chapman was a nurseryman, who came to own many tracts of land throughout Ohio and Indiana. He used this land to plant apple seeds, transplant seedlings and set out orchards. He sold and gave trees to pioneer settlers.

Beginning its town life in the 17th century as a pioneer and farming community, Lancaster became a summer residence for prominent citizens of Boston during the early 19th century. The location of the Carter and Andrews Publishing Company and the Ponakin Mills in Lancaster contributed to the next wave of town growth. Beautiful, tree-shaded roads and large New England style homes came to characterize Lancaster during this phase of its history. In 2006, a Special Town Meeting voted the American Elm as the Town tree, continuing the

recognition of the importance of trees to Lancaster's town character today.

Lancaster's rivers, its riverfront land, its traditional settlement pattern, and its extensive natural resources also are at the centerpiece of its historic heritage. Early settlers built homes and hamlets at the confluence of the rivers. Access in and out of town depended upon the bridges over these rivers. The largest oak tree in Massachusetts, the Beaman Oak, was in Lancaster on Route 117 east of Main Street. This oak, whose circumference was 17 feet, was located on what was the land of one of Lancaster's earliest settlers, from around 1659 - Gamaliel Beaman. The tree had come to be known as the Beaman Oak. The tree severely damaged during a storm in 1989 and had to be removed.

One particular family was critical in shaping Lancaster's history and in creating many of the beautiful historic homes that grace Lancaster's Main Street and South Village. Four brothers of the Thayer family, who made their fortunes in banking and railroads, during the 19th century, built beautifully designed summer mansions, many of which remain to this day. Their grandfather, Rev. Nathaniel Thayer, was ordained in Lancaster in 1793 and served as the pastor of First Church until his death in 1840. He lived in the parsonage, known as "The Homestead", which is now the site of the Thayer Performing Arts Center. Rev. Nathaniel Thayer was pastor when architect Charles Bulfinch designed the Fifth Meeting House for Lancaster. It was completed in 1816. Rev. Nathaniel Thayer had seven children, Sarah Toppan, Martha, Mary Ann, Nathaniel Jr., John, and Christopher Toppan. The four sons of Nathaniel Jr., Eugene V.S. Thayer, Nathaniel III, Bayard, and John E. and grandson, Eugene V.S. Thayer, Jr. built mansions that still exist today in Lancaster. Fairlawn, now the "White House" at Atlantic Union College, was built by Eugene V. S. Thayer, Sr. John E. Thayer built a Tudor-style mansion part of which still exists on George Hill Road. Bayard Thayer built a mansion called Hawthorne Hill, now the site of the Maharishi Veda Health Center. Crownledge, a mansion built by Eugene Thayer, Jr. in 1908-09, is now the home of the Trivium School. Only one of these many historic mansions built by Nathaniel Thayer III – the Homestead" – is presently listed on the National Register of Historic Places and is now known as Thayer Performing Arts Center, Atlantic Union College. The Lancaster Historical Commission is working to inventory the other mansions and list

these on the state register of historic places.

Lancaster also has developed as an educational center. The Town is now home to several private schools and a college. Atlantic Union College, founded by the Seventh Day Adventists in 1882 as a secondary school, is now one of the most highly thought-of liberal arts colleges in the Northeast. Many of its campus buildings, especially Founder's Hall are of historic importance and interest. The Herbert Parker mansion on Sterling Road is currently privately owned. The Dr. Franklin Perkins School, founded in 1896, is located on 120 acres of land along Main Street that is the former estate of the industrialist Iver Johnson's widow, Mary Speirs Johnson, who built the mansion. The Perkins School is a nationally recognized leader in providing education and services to troubled children, adolescents and adults. Other private schools in Lancaster include the Robert F. Kennedy School, New River Academy, Living Stones Christian School, South Lancaster Academy, Browning School, and the Trivium School.

Lancaster's National Register Districts

Lancaster's rich historical heritage is reflected in the more than sixty historic sites and places of cultural interest, noted on the Historic & Cultural Resource Map. It is home to two national historic districts – Center Village, and North Village, whose boundaries are shown on the accompanying Historic District Map. Center Village and North Village were placed upon the National Register of Historic Places on June 8, 1976.

The Lancaster Historical Commission describes these two districts as follows:

“The Center Village District includes 110 early buildings and homes dating from 1727 to 1961, which include architectural styles of Cape style, Colonial, Classical revival, Colonial revival, federal, Greek revival, Italianate, Queen Anne, Victorian Eclectic, and Ranch. The Center Village is a quiet residential area of this earliest town in Worcester County. The district extends eight-tenths of a mile along Main Street from the Sprague-Vose Bridge over the Nashua River to the northern end of Main Street joining Route 117 near the North Village. Center Village District includes the beautiful center green, which is an unusual quadrangle upon which one side is Main Street, and on the opposite side stands the **Thayer Memorial**

Library, the Prescott Building (Center School), and on the south side stands the Georgian Colonial Town Hall and on the north side stands the neoclassical First Church of Christ, designed by Charles Bulfinch as the Fifth Meeting House, listed on the National Register of Historic Landmarks.

The North Village District, once known as Union Village, is a fine example of a rural nineteenth century community, and forms a significant architectural unit. North Village has a small green at the eastern end of the district. The historic district is roughly defined geographically by the Nashua River on the west, the Ponakin Brook on the north, a small brook on the south, and a series of hills on the east. The oldest house is c.1717. The architecture in the district incorporates various Federal and Greek Revival details. The houses vary in size and design, but are unified by their common building materials and setting. In the North Village, 22 buildings and homes received National Register Status. In 2006, the number went to 21 because one of Lancaster's only remaining inns (Fisher's Inn c. 1810) was sold, dismantled and is to be moved to Ohio where it will be rebuilt. The buildings and homes in this district date from 1717 - 1929.” (*Lancaster Historical Commission*)

A complete list of all properties within both National Register Districts is included in the Appendix.

In the 1980s, a local initiative developed in Lancaster to create a local historic district for Center Village. This would provide local review authority and greater protection for these important historic buildings and sites that National Register listing does not. This initiative was voted down at the 1987 Town Meeting. In 2002, the Lancaster Board of Selectmen appointed a Historic District Study Committee to reexamine the establishment of a local historic district and to determine what properties in addition to Center Village might also be included. The Historic District Study Committee continues to examine this alternative.

Historic Bridges

Lancaster's geographic location at the confluence of two rivers has made bridges an integral part of the Town's history and character. The Lancaster Historical Commission has found many references to

bridges in historical records as early as 1658. At the beginning of the Town's recorded history, the citizens who lived near the bridges were responsible for their cost and maintenance. The floods of 1936 wiped out many of Lancaster's bridges.

Today, two historic bridges remain in Lancaster. The Atherton and the Ponakin Bridges, built in 1870-71, were constructed using a design patented by Simon Post, a famous engineer, called a "Post-Truss" design. While this design was used for many 19th century bridges throughout America, few remain today. Both the Atherton and Ponakin Bridges are listed on the National Register of Historic Places.

Historic Cemeteries

There are seven town historic cemeteries in Lancaster, each with important contributions to Lancaster's history and early days. The Old Settlers Burial Ground, located on Main Street behind the Middle Cemetery became a public cemetery around 1643 and contains graves of the earliest pioneers. Old Common Cemetery on Old Common Road opened around 1700. North Cemetery on Old Turnpike Road opened around 1790; Middle Cemetery beside Bigelow Gardens on Main Street opened around 1800, while North Village Cemetery opened around 1854. Eastwood Cemetery on Old Common Road at the Bolton town line opened in 1876, and is the only Town cemetery with available new grave sites. There is a state graveyard on the site of the former Industrial School for Girls located off Old Common Road. Finally, the private Thayer Family Cemetery is located off Bull Hill Road. (See Historic & Cultural Resources Map for locations).

Many of the monuments in these cemeteries are fragile and deteriorating. A high priority of the Lancaster Historical Commission is to preserve and protect the monuments and landscapes of these cemeteries that hold important keys to Lancaster's past.

Endangered Properties

There are many historic buildings and sites in Lancaster that are in danger of being lost to physical deterioration, inadequate maintenance, inappropriate renovations, or outright demolition. Fragile historic monuments in the early cemeteries are crumbling; historic homes and buildings in private ownership are in need of restoration. New development along the river is affecting both the traditional riverfront

character, an important contributor to Lancaster's historic town character, and affecting the remains of historic river use such as historic water level markers.

The Lancaster Historical Commission has identified the historic features of the following public and private properties and sites to be so 'endangered':

Public Sites:

Town Hall
Prescott Building (Center School)
Memorial School
Tercentenary Building
South Lancaster Engine House (Hose House)
Atherton and Ponakin Bridges
All cemeteries: Old Settlers Burial Yard, Old Common Cemetery, Middle Cemetery, North Cemetery, North Village Cemetery, Eastwood Cemetery, Thayer Private Cemetery
All open land, including Pine Hill
Meeting of North and South branches of the Nashua River

Privately owned:

Deershorn Road schoolhouse
Thayer Mansions: Nathaniel (presently Thayer Performing Art Center), Eugene (presently Atlantic Union College's White House), John Thayer Tutor Mansion, Eugene Thayer, Jr. Crownledge (presently Trivium School), Bayard Thayer (presently Maharishi Veda Health Center)
George Hill Orchards (formerly owned by the Thayer brothers)
Rowlandson Garrison site
Herbert Parker house on Sterling Road

A priority of the Lancaster Historical Commission is to raise awareness about the importance and fragility of these historic resources and to develop strategies and measures to better assist and protect them.

Cultural Traditions

Until 2000, Lancaster was home to the Thayer Symphony Orchestra. Founded in 1974 by Dr. Jon Robertson as the Thayer Conservatory Orchestra, the Symphony moved to Fitchburg at the end of the 2000 season. Its home auditorium is now at Montachusett Technical High School.

One Saturday each fall during fall foliage and apple-picking season, the annual Horseshed Crafts Fair opens on the grounds of the First Church of Christ (the Bulfinch Church) on Lancaster's Town Green. The Fair is housed in 15 connected wood-framed

horseheds, part of the original sheds built in 1816. Scores of craftspeople sell crafts ranging from silk and dried flower art, Victorian dolls and jewelry. Several thousand people attend the Fair each year on the grounds of this National Historic Landmark.

Lancaster has a Cultural Council that supports the arts and cultural events and administers state-funded grants for local events. The Cultural Council has supported events such as the Three Apples Storytelling Festival, annual concerts and fireworks, musical performances at Thayer Public Library, and the Lancaster Coffeehouse.

GOALS AND OBJECTIVES

At the May and October, 2005 master plan community workshops, Lancaster citizens made clear that one of their highest priorities was the preservation of Lancaster's rural and traditional character. Preservation of Lancaster's historic heritage, historic buildings and sites, and landscapes are a critical part of preserving this Town character. Accordingly, Lancaster's objectives for historic preservation and preservation of its traditional Town character are to:

- Preserve and protect the important and valuable historic properties and sites in Lancaster that contribute so much to its character and that are part of its heritage.
- Raise the awareness within Lancaster and beyond about Lancaster's rich historic heritage and the scores of important historic sites throughout town.

IMPLEMENTING ACTIONS

The following actions are identified to implement Lancaster's goals for historic and cultural preservation:

- Inventory, restore and protect Lancaster's early cemeteries, giving priority to Old Settlers, Middle, and Old Common Cemeteries. Seek grants and funding to help restore these important historic resources. Work to list these cemeteries on the National Register of Historic Places.
- Conduct public education in Lancaster and beyond to make townspeople aware of the

importance and value of Lancaster's historic heritage, buildings, and sites.

- Continue to explore the possibility of creating a local historic district for the Center Village historic area to better protect this "crown jewel" of Lancaster's historic heritage.
- Preserve the integrity of the Town Green and its tradition as an open gathering place.
- Preserve and protect Lancaster's historic bridges, in particular the Atherton Bridge and the Ponakin Bridge, and the river edges, major contributors to Lancaster's historic town character. Explore how to better feature these historic bridges as tourist attractions.
- Develop strategies to protect and preserve the historic properties and sites in Lancaster that are endangered by deterioration, inadequate maintenance, demolition, and floodplain development.
- Explore the creation of a museum to safeguard and display Lancaster's historic assets and records.
- Develop and adopt a demolition delay bylaw as also noted in the Housing Chapter to allow time for finding alternatives for historic structures threatened by demolition – for example, their relocation and reuse as an affordable housing resource.
- Reconsider participation in the Community Preservation program as one means to generate local funding for, among other things, historic preservation.

Identify and investigate a diversity of approaches to preserving the character and architectural features of historic homes while allowing for appropriate re-use if desired. One such approach might be an estate preservation bylaw that guides appropriate redevelopment of historic mansions and estates, such as that of the Town of Lenox, MA.

APPENDIX

Central Village National Register of Historic Places
survey of properties, June, 1973.

North Village National Register of Historic Places
survey of properties, June 1973.

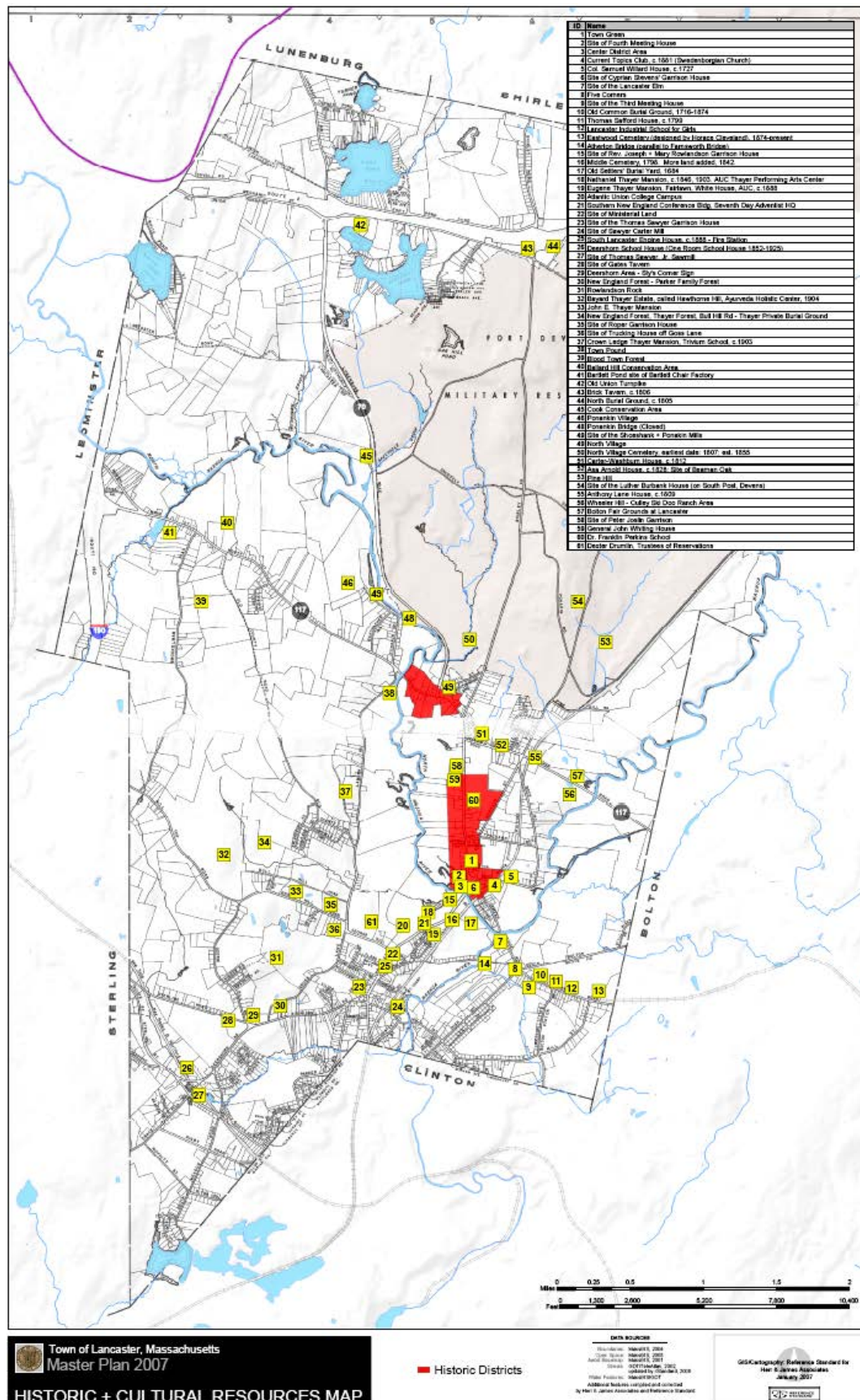
Memorandum from Lancaster Historical Commission
re: endangered properties, February 21, 2006.

OTHER REFERENCED MATERIAL

“Lancaster On-line”, 2004
www.atlanticuc.edu/lancaster/history/index.htm


Peach, Joy H., Lancaster Historical Commission,
“Lancaster Bridges”, Town Report, 2004.

January 26, 2007 PLAN HISTORIC PRES
ELEMENT.DOC





Details



ID: LAN.172

Historic Name: Lancaster Town Library

Common Name: —

Address: 695 Main St
Lancaster

Town: Lancaster

Type: —

Designations: NRDIS (1977)

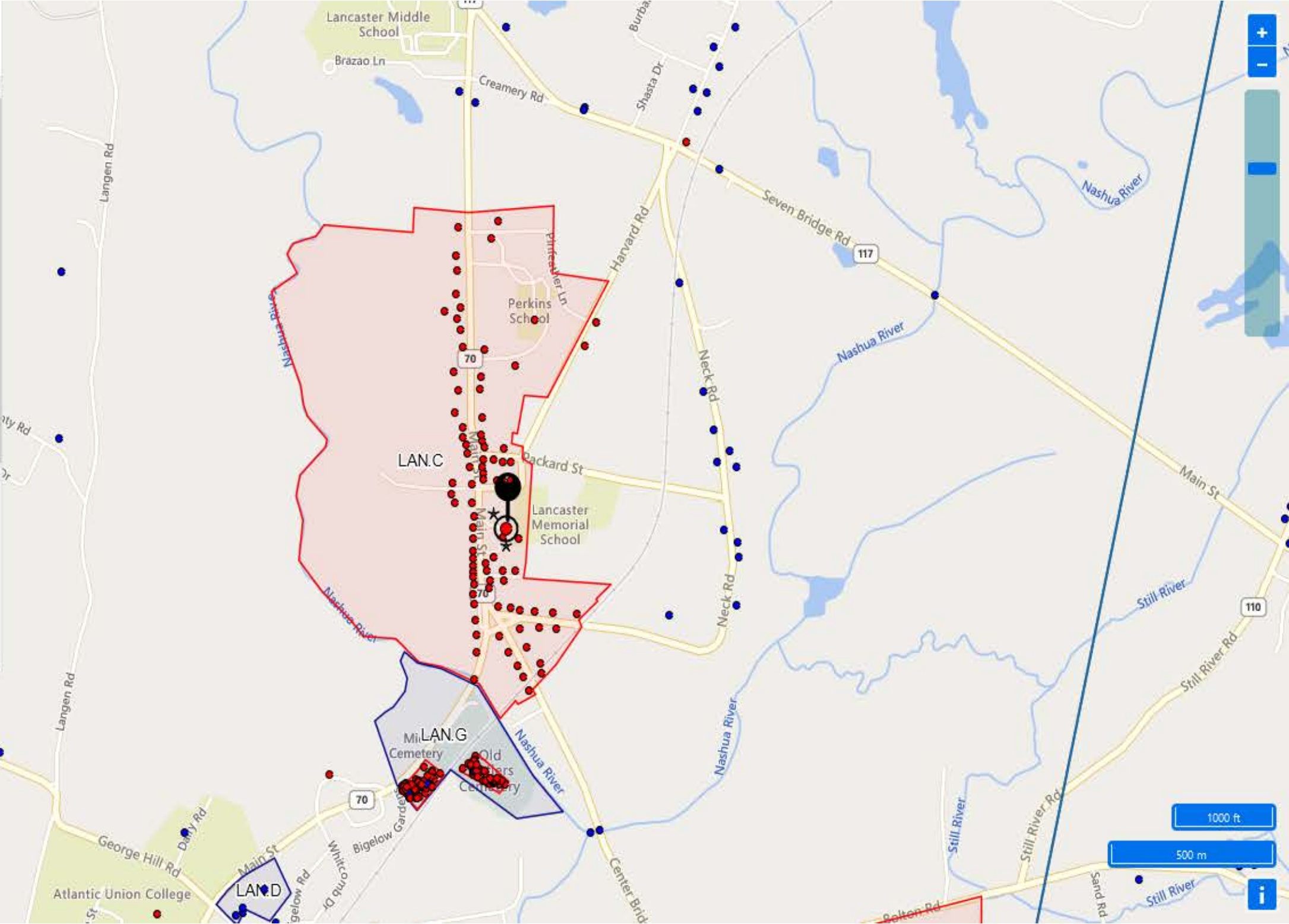
Types: Library; Museum;

Constructed: 1868

Center/Zoom

Center

Street View



Massachusetts Cultural Resource Information System

Scanned Record Cover Page

Inventory No:	LAN.172
Historic Name:	Lancaster Town Library
Common Name:	
Address:	695 Main St
City/Town:	Lancaster
Village/Neighborhood:	Lancaster;
Local No:	C77;
Year Constructed:	1868
Architectural Style(s):	Classical Revival;
Architect(s):	Gallagher, Baier and Best; Harris, C. H.; Wulff, Charles A.;
Use(s):	Library; Museum;
Significance:	Architecture; Community Planning; Politics Government;
Area(s):	LAN.C
Designation(s):	Nat'l Register District (09/15/1977);
Building Materials:	Roof: Slate; Wall: Brick; Wood;
Demolished	No



The Massachusetts Historical Commission (MHC) has converted this paper record to digital format as part of ongoing projects to scan records of the Inventory of Historic Assets of the Commonwealth and National Register of Historic Places nominations for Massachusetts. Efforts are ongoing and not all inventory or National Register records related to this resource may be available in digital format at this time.

The MACRIS database and scanned files are highly dynamic; new information is added daily and both database records and related scanned files may be updated as new information is incorporated into MHC files. Users should note that there may be a considerable lag time between the receipt of new or updated records by MHC and the appearance of related information in MACRIS. Users should also note that not all source materials for the MACRIS database are made available as scanned images. Users may consult the records, files and maps available in MHC's public research area at its offices at the State Archives Building, 220 Morrissey Boulevard, Boston, open M-F, 9-5.

Users of this digital material acknowledge that they have read and understood the MACRIS Information and Disclaimer (<http://mhc-macris.net/macrisdisclaimer.htm>)

Data available via the MACRIS web interface, and associated scanned files are for information purposes only. THE ACT OF CHECKING THIS DATABASE AND ASSOCIATED SCANNED FILES DOES NOT SUBSTITUTE FOR COMPLIANCE WITH APPLICABLE LOCAL, STATE OR FEDERAL LAWS AND REGULATIONS. IF YOU ARE REPRESENTING A DEVELOPER AND/OR A PROPOSED PROJECT THAT WILL REQUIRE A PERMIT, LICENSE OR FUNDING FROM ANY STATE OR FEDERAL AGENCY YOU MUST SUBMIT A PROJECT NOTIFICATION FORM TO MHC FOR MHC'S REVIEW AND COMMENT. You can obtain a copy of a PNF through the MHC web site (www.sec.state.ma.us/mhc) under the subject heading "MHC Forms."

Commonwealth of Massachusetts
Massachusetts Historical Commission
220 Morrissey Boulevard, Boston, Massachusetts 02125
www.sec.state.ma.us/mhc

This file was accessed on: Monday, March 28, 2022 at 4:15 PM

APPENDIX 5. Historic Asset of the Commonwealth and
National Register of Historic Places

FORM B - BUILDING

More detailed inform. now

MASSACHUSETTS HISTORICAL COMMISSION
Office of the Secretary, State House, Boston

In Area no. <u>CX</u>	Form no. <u>172</u>
--------------------------	------------------------

2. Photo (3x3" or 3x5")
Staple to left side of form
Photo number _____

1. Town Lancaster, Massachusetts
Address Thayer Dr. 717 Main St. Town Green
Name Lancaster Town Library
Present use Library
Present owner Town of Lancaster

3. Description:

Date 1868

Source Plaque in Library

Style Classic Renaissance

Architect Mr. Harris

Exterior wall fabric Brick

Outbuildings (describe) None

Other features 2-story, intersect. ridge roof with 2 chimneys, symmetrical front entrance, wing on north side, windows are varied, pediment in front and columns set in at 2nd story circular iron stairway inside library.

Altered Wing added Date 1929

Moved No Date _____

5. Lot size:

Less than one acre X Over one acre _____

Approximate frontage Part of the sprawling Town Green

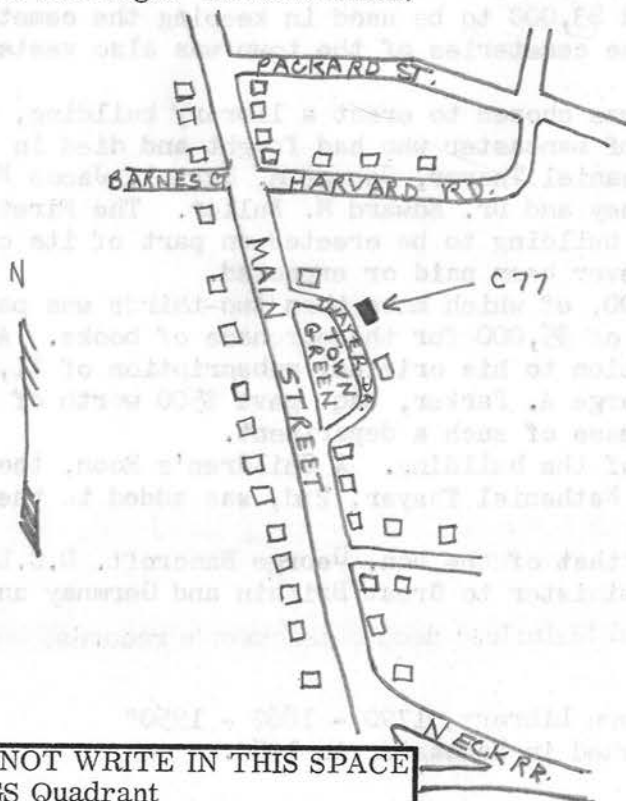
Approximate distance of building from street

12 ft.

6. Recorded by Janice Breen
Organization Lancaster Historical Commission

Date Sept. 19, 1975

4. Map. Draw sketch of building location in relation to nearest cross streets and other buildings. Indicate north.



DO NOT WRITE IN THIS SPACE USGS Quadrant _____
MHC Photo no. _____
RECEIVED

OCT 23 1975

(over)

MASS. HIST. COMM.

7. Original owner (if known) Town of Lancaster

Original use Library

Subsequent uses (if any) and dates _____

8. Themes (check as many as applicable)

Aboriginal	_____	Conservation	_____	Recreation	_____
Agricultural	_____	Education	_____	Religion	_____
Architectural	<u>X</u>	Exploration/	_____	Science/	_____
The Arts	_____	settlement	_____	invention	_____
Commerce	_____	Industry	_____	Social/	_____
Communication	_____	Military	_____	Humanitarian	<u>X</u>
Community development	<u>X</u>	Political	_____	Transportation	_____

9. Historical Significance (include explanation of themes checked above)

"The Lancaster Town Library may justly claim the year 1790 as the year of its foundation since the majority of the active officers and members of the Lancaster Social Library (1790-1850) reorganized as the Lancaster Library Club (1851-1862) to continue the life of the Lancaster Library Club after the division of the town in 1850, while the Library Club became the present Lancaster Town Library in 1862 and the Town accepted it as such. The officers and members of the Lancaster Library Club, and most of all Rev. George M. Bartol, were the principal founders of the Lancaster Town Library which began its official existence on April 12, 1862.

In 1866, the town received through Dr. Bartol, a communication from Nathaniel Thayer, Esq. offering \$5,000 for a library fund and \$3,000 to be used in keeping the cemeteries in order, for from the first, the care of the cemeteries of the town was also vested in the board of trustees of the library.

On Nov. 7, 1866, a committee of seven was chosen to erect a library building, which should also be a memorial to the soldiers of Lancaster who had fought and died in the Civil War. The committee consisted of Nathaniel Thayer, George M. Bartol, Jacob Fisher, Henry Wilder, J.L.S. Thompson, Quincy Whitney and Dr. Edward M. Fuller. The First Church of Christ in Lancaster generously allowed the building to be erected on part of its common land for which no compensation or rent has ever been paid or expected.

The cost of building was nearly \$30,000, of which more than two-thirds was paid by Mr. Thayer in addition to his endowment of \$5,000 for the purchase of books. At the same time, the Hon. Francis B. Fay in addition to his original subscription of \$1,000 gave \$100 for the purchase of a clock. George A. Parker, Esq. gave \$500 worth of books on art, and also \$700 for the further increase of such a department.

Later, stacks were added at the rear of the building. A Children's Room, the gift of Mrs. Bayard Thayer in memory of her son Nathaniel Thayer, 2nd, was added to the building in 1929.

One of the earliest funds donated was that of the Hon. George Bancroft, D.C.L. the eminent historian, Secretary of the Navy, minister to Great Britain and Germany and the

10. Bibliography and/or references (such as local histories, deeds, assessor's records, early maps, etc.)

1 "An Historical Sketch of the Lancaster Town Library, 1790 - 1862 - 1950"
by Frederick Lewis Weis, Th.D. Published in Lancaster in 1950.

C77

first Commandant of the United States Naval Academy at Annapolis. He addressed a letter to the selectmen of the town, dated Newport, Sept. 20, 1878 which is on file in the Historical Commission Office and in which he gave \$1,000 for the benefit of the Lancaster Town Library, to be called the Captain Samuel Ward Library Fund, the income only to be expended year by year for the purchase of books in the department of History. Other funds have since been given to the library.

The museum of the Library, established in 1863, has continued to grow and now occupies the second floor of the library building. It contains many interesting objects connected with the history of the town.

The Lancaster Collection, containing the publications of Lancaster natives and residents, was begun in 1905. It contains a fairly complete set of Lancaster imprints, especially those of Carter & Andrews, genealogies of Lancaster families, manuscript sermons of the early ministers and manuscripts and records of the many societies and associations of Lancaster's past. Altogether, it contains 681 volumes and forms as complete a source of local history as could be desired in a small New England Town!"¹



1975



1967

LAN.172

6/7

Me
80
Bo

INTERIOR FOR CONTINUATION SHEET

Communities

Disaster Areas



1196

APPENDIX 5. Historic Asset of the Commonwealth and
National Register of Historic Places

INVENTORY FORM CONTINUATION SHEET

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Town

7/7
Property Address

Lancaster 717 Marsh St

Area(s)

Form No.

LAN 102

DEPARTMENT OF PUBLIC SAFETY
DIVISION OF INSPECTION
PLAN RECORD

CASE *D* RACK *3* APART. *11* NO. *38851*
BUILDING *LIBRARY* STORIES
CITY OR TOWN *LANCASTER* STREET
TO BE USED FOR *CHILDRENS LIBRARY* CLASS
OWNER *CITY OF LANCASTER*
ARCHITECT
CERTIFICATE APPROVAL—SPECIFICATION REQUIREMENTS—REFERRED
DATE *Aug. 1928*
INSPECTOR *Beyer*

Form Bu 1 1-30 2M

"Y AND E" BOSTON & ROCHESTER, N. Y. 12918 B-1

DEPARTMENT OF PUBLIC SAFETY
DIVISION OF INSPECTION
PLAN RECORD

CASE *C* RACK *A* APART. *11* NO. *34197*
BUILDING *Lancaster Library* STORIES *1b*
CITY OR TOWN *Lancaster* STREET
TO BE USED FOR *reading room* CLASS *2nd*
OWNER *Town of Lancaster*
ARCHITECT *Charles A. Wulff, Brooklyn, N.Y.*
CERTIFICATE APPROVAL—SPECIFICATION REQUIREMENTS—REFERRED
DATE *October 15/28*
INSPECTOR *Byer*

Form Bu 1 3-25-27 2M No. 4051

"Y AND E" BOSTON & ROCHESTER, N. Y. 6113

*Certified sent to
Full Bishop Co.
Contractors
Lancaster, Mass.*

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

DATA SHEET

1741

FOR NPS USE ONLY

RECEIVED OCT 27 1976

SEP 15 1977

DATE ENTERED

NATIONAL REGISTER OF HISTORIC PLACES INVENTORY -- NOMINATION FORM

SEE INSTRUCTIONS IN *HOW TO COMPLETE NATIONAL REGISTER FORMS*
TYPE ALL ENTRIES -- COMPLETE APPLICABLE SECTIONS

1 NAME

HISTORIC Center Village District

AND/OR COMMON Center Village District

2 LOCATION

STREET & NUMBER multiple

CITY, TOWN Lancaster

NOT FOR PUBLICATION

CONGRESSIONAL DISTRICT 2nd

STATE Massachusetts

VICINITY OF

CODE 025

COUNTY Worcester

CODE 027

3 CLASSIFICATION

CATEGORY

☒ DISTRICT
☐ BUILDING(S)
☐ STRUCTURE
☐ SITE
☐ OBJECT

OWNERSHIP

☐ PUBLIC
☐ PRIVATE
☒ BOTH
PUBLIC ACQUISITION
☐ IN PROCESS
☐ BEING CONSIDERED

STATUS

☒ OCCUPIED
☐ UNOCCUPIED
☐ WORK IN PROGRESS
ACCESSIBLE
☐ YES: RESTRICTED
☒ YES: UNRESTRICTED
☐ NO

PRESENT USE

☐ AGRICULTURE
☒ COMMERCIAL
☒ EDUCATIONAL
☐ ENTERTAINMENT
☒ GOVERNMENT
☐ INDUSTRIAL
☐ MILITARY
☐ MUSEUM
☒ PARK
☐ PRIVATE RESIDENCE
☐ RELIGIOUS
☐ SCIENTIFIC
☒ TRANSPORTATION
☐ OTHER

4 OWNER OF PROPERTY

NAME multiple

STREET & NUMBER multiple

CITY, TOWN

STATE

VICINITY OF

5 LOCATION OF LEGAL DESCRIPTION

COURTHOUSE, REGISTRY OF DEEDS, ETC. Worcester County Registry of Deeds

STREET & NUMBER 2 Main Street

CITY, TOWN

Worcester

STATE

Massachusetts

6 REPRESENTATION IN EXISTING SURVEYS

National Historic Landmarks Site Survey

TITLE Historic American Buildings Survey

Inventory of Historic Assets of the Commonwealth

DATE 1969, 1941, 1975

☒ FEDERAL ☒ STATE ☐ COUNTY ☐ LOCAL

DEPOSITORY FOR SURVEY RECORDS Library of Congress
Massachusetts Historical Commission

CITY, TOWN Washington, D.C.
Boston

STATE

Massachusetts

CONDITION

CHECK ONE

CHECK ONE

___ EXCELLENT
☒ GOOD
___ FAIR

___ DETERIORATED
___ RUINS
___ UNEXPOSED

___ UNALTERED
☒ ALTERED

___ ORIGINAL SITE
___ MOVED DATE _____

DESCRIBE THE PRESENT AND ORIGINAL (IF KNOWN) PHYSICAL APPEARANCE

The Center Village Historic District is composed of a fine sampling of high style and vernacular eighteenth and nineteenth century architecture. It includes seventy-one private residence, ranging in style from Federal to twentieth century Colonial Revival, and seventeen public buildings, including Bulfinch's renowned Lancaster Meeting House.

The district extends from the Sprague-Vose Bridge north along Main Street for eight-tenths of a mile. It is bounded on the west by the wide flood plain of the Nashua River and on the south by the Nashua River. Open fields surround its boundaries on the north and east.

At the center of the historic district is the rectangular town green. The green is the focal point of the town and around it stand five handsome public buildings: the Town Hall, Center School, First Church of Christ Unitarian, Center School and Tercentenary Building.

The Town Hall (25), designed by Boston architect A.W. Longfellow and built in 1908, is a Georgian Revival building. It is a two story brick structure erected on a rusticated granite foundation. The brick is New Hampshire water struck, laid in Flemish bond, and is trimmed with white marble. A hipped roof, with a balustrade that runs between two pairs of chimneys, covers the Hall. The facade of the building is symmetrical, with a slightly projecting central wing. Located at the center of the facade is the main entrance which is sheltered by a pedimented portico. The portico is composed of four wood-encased steel columns, a simple entablature with a dentilated cornice, and a deep pediment containing an elaborately decorated oculus window. The entrance door is double, with transom lights and a marble cornice cap. The Hall's fenestration is varied. The windows on the first floor are multi-paned with keystone lintels; those on the second floor are rounded with keystones. There are also two oculus windows, decorated with swags and garlands, on the second floor.

The Center School (26), built in 1904, was designed by Boston architect, Herbert Hale. It is a two story brick, neoclassical school building. Its symmetrical facade is composed of four white pilasters which support a large pediment. Within the pediment is the town crest, designed in high relief, and painted blue, gold, white and red. The windows in the school are eight over eight double hung sash and painted white. The corners are articulated by brick quoins and the roof is hipped.

The First Church of Christ Unitarian (29), built in 1816 by Charles Bulfinch, is considered to be a masterpiece of ecclesiastical design. It is an advanced neoclassical, finely sashed brick building that breaks from the traditional meeting house form in mass and geometric form. The roof is ridged and has a steeple with a bold theme of block, cylinder and sphere. The block of the steeple, which houses the clock, is graced with delicate fan-like motifs. The cylinder, where the bell is located, is formed by thin Corinthian columns and round-arched openings. The sphere which tops the steeple, is decorated with federal detail, including two dentil courses and swag and garland motifs. A pedimented porch, formed by five soaring arched openings, protects the symmetrical front entrances of the church. It is constructed of brick and articulated by six pilasters and a simple entablature that are painted white.

**HISTORIC PLACES
INVENTORY**

3/41

Form No. 10-300a
(Rev. 10-74)

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

**NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM**

FOR NPS USE ONLY

RECEIVED OCT 27 1976

DATE ENTERED SEP 15 1977

CONTINUATION SHEET

ITEM NUMBER

PAGE

Center Village Historic District

7

1

The Public Library (28), erected in 1868, is Renaissance Revival brick building. It is a two story structure, with a two story rear wing, built on a rusticated stone foundation. Its symmetrical facade is dominated by a double stepped, pedimented pavillion. The second story of the pavillion is built of brownstone and forms a narrow porch. The porch is composed of two Corinthian columns and square corner pilasters which support a simple entablature and pediment. It is entered from the second story through a door flanked by simple side lights and capped with an elaborate fanlight. The windows in the main library building are six over six double hung sash, with keystone lintels. In the wing, the windows are adjoining six over six double hung sash, with the top sash round-arched. These windows are adorned with round-arched Italianate window caps.

The Tercentenary Building (27), is a Colonial Revival, multipurpose building. It was designed by Arland Dirlam and built in 1953. It is a one story structure with a ridge roof. The facade of the building is asymmetrical, with double doors graced with pilasters and capped with a broken pediment on the right side. The windows are twelve over eight sash.

The other public buildings are spread throughout the district. They include two small wood frame railroad buildings, three churches, three stores, the Post Office, Water Dept. Building, and the Perkins School which will be described below with the private residences in the district.

The private residences in the historic district, although they vary in style and date of construction, are unified by their common building materials and rural setting. They are of wood frame construction, of one and one half and two stories, with large tree-lined yards. A sampling of the houses in the district is described below.

The Aaron Willard House (16), built in 1750, is a Federal style house. It is a three story dwelling with a gently sloped hipped roof that is pierced by two stuccoed chimneys. The symmetrical facade of the house is of five bays, with a handsome Federal doorway. The doorway is composed of delicately fluted pilasters, a fanlight window, and a simple entablature with a dentilated cornice. The house is painted white and has black shutters.

The Joseph Andrews House (3), is a two story Greek Revival temple style house, built in 1830. The three bay facade (gable end) of the house is dominated by a massive two story portico. The portico is composed of four fluted Corinthian columns which support a simple entablature and pedimented roof. The first floor windows of the house are floor length; while those throughout the rest of the house are double hung six over six sash windows. The house is covered with clapboard and painted white.

HISTORIC PLACES INVENTORY

4/41

Form No. 10-300a
(Rev. 10-74)UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

NATIONAL REGISTER OF HISTORIC PLACES INVENTORY -- NOMINATION FORM

FOR NPS USE ONLY

RECEIVED OCT 27 1976

DATE ENTERED SEP 15 1977

CONTINUATION SHEET

ITEM NUMBER

PAGE

Center Village Historic District

7

2

The Abby Carter Lane House (57), erected in 1870, is a two story dwelling with Gothic and Italianate detail. Its symmetrical facade is composed of three bays and is distinguished by its powerful central orientation. The dominating central focus is created by the vertical alignment of an elaborately decorated portico, round-arched window with round ended shutters and adorned with a decorative motif, and a small gable in the overhanging roof. The windows of the house are two over two double hung sash with black shutters. The first floor windows are topped by caps with delicate carved motifs. The roof of the house is hipped, with a large overhang that is articulated by small brackets. The roofline is highlighted with simple carved wood detail.

The Iver Johnson House (50), built in 1910, is a two and one half story dwelling. Its plan is irregular, yet balanced. The central entrance is reached through three round-arched openings that form a simple portico. On either side of the entrance are two projecting wings which combine to form the main house. They are adjoined, in a step-like fashion, by several smaller wings. The corners of the house are defined by brick quoins. Its fenestration is varied, but unified by the use of small paned windows throughout the house. The roof, which is pierced by numerous gables, is covered with slate. The house is currently owned and occupied by the Perkins School.

PERIOD

AREAS OF SIGNIFICANCE -- CHECK AND JUSTIFY BELOW

<input type="checkbox"/> PREHISTORIC	<input type="checkbox"/> ARCHEOLOGY-PREHISTORIC	<input type="checkbox"/> COMMUNITY PLANNING	<input type="checkbox"/> LANDSCAPE ARCHITECTURE	<input checked="" type="checkbox"/> RELIGION
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> ARCHEOLOGY-HISTORIC	<input type="checkbox"/> CONSERVATION	<input type="checkbox"/> LAW	<input type="checkbox"/> SCIENCE
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> AGRICULTURE	<input type="checkbox"/> ECONOMICS	<input type="checkbox"/> LITERATURE	<input type="checkbox"/> SCULPTURE
<input type="checkbox"/> 1600-1699	<input checked="" type="checkbox"/> ARCHITECTURE	<input type="checkbox"/> EDUCATION	<input type="checkbox"/> MILITARY	<input checked="" type="checkbox"/> SOCIAL/HUMANITARIAN
<input checked="" type="checkbox"/> 1700-1799	<input type="checkbox"/> ART	<input type="checkbox"/> ENGINEERING	<input type="checkbox"/> MUSIC	<input type="checkbox"/> THEATER
<input checked="" type="checkbox"/> 1800-1899	<input type="checkbox"/> COMMERCE	<input type="checkbox"/> EXPLORATION/SETTLEMENT	<input type="checkbox"/> PHILOSOPHY	<input type="checkbox"/> TRANSPORTATION
<input checked="" type="checkbox"/> 1900-	<input type="checkbox"/> COMMUNICATIONS	<input type="checkbox"/> INDUSTRY	<input type="checkbox"/> POLITICS/GOVERNMENT	<input type="checkbox"/> OTHER (SPECIFY)
		<input type="checkbox"/> INVENTION		

SPECIFIC DATES

BUILDER/ARCHITECT

STATEMENT OF SIGNIFICANCE

The Center Village Historic District is a good example of a twentieth century New England town that has retained its nineteenth century character. Its fine vernacular and high style buildings, located in an essentially untouched rural setting, form an architecturally significant unit.

The town of Lancaster was first settled in 1643 as an outpost for trading with the Nashaway Indians. Within ten years, nine families has settled in Lancaster and the town was incorporated in 1653. (It is the oldest town in Worcester County.) None of the houses that were built during the seventeenth century remain. During the eighteenth century more permanent houses were built in the town and six of them are still standing. The majority of the houses within the district, however, were built in the nineteenth century. In 1849, the railroad was built through Lancaster and resulted in a period of rapid growth for the town. During this time the town and many small businesses, including: Carter-Andres Publishing Company, a hat shop, jewelry store, bookstore and bank. Today, most of these small businesses are gone and the town's center has assumed a residential character.

The architectural significance of the district is derived from the outstanding quality of several of the buildings within the district, as well as from the unified character of the structures. Bulfinch's Fifth Lancaster Meeting House, now the First Church of Christ Unitarian, is a recognized masterpiece in ecclesiastical design. It is considered to be Bulfinch's most innovatively and successfully designed building. The church is currently listed on the National Register of Historic Places. The Town Hall, designed by A.W. Longfellow, a prominent Boston architect, is also architecturally significant. Longfellow is noted for his Colonial and Georgian Revival buildings, and the Town Hall, with its excellent brick work and classical detail, is a fine example of his work. The Iver Johnson House is a fine example of an early twentieth century estate. When it was built in 1910, it was considered to be one of the most advanced complexes of buildings of its kind in the Northeast.

There are also numerous examples of good vernacular architecture within the district, including: the James Carter House, Murray A. Potter House, and Anthony Lane House. These outstanding buildings are complimented by the other houses and public buildings within the district, and together they form a coherent and architecturally significant unit.

9 MAJOR HISTORICAL REFERENCES

Marvin, Arthur B.; History of the Town of Lancaster, Lancaster:1879 6/41
Registry of Deeds, Worcester County Courthouse, Worcester, Massachusetts
James G. Carter Map of 1831
Henry F. Walling Survey of 1857
Town Maps of 1870, 1879, & 1898
Town Tax Valuations 1785-1805

10 GEOGRAPHICAL DATA

ACREAGE OF NOMINATED PROPERTY 254

UTM REFERENCES

A 1 9 2 8 0 6 2 0 4 7 0 4 4 6 0
ZONE EASTING NORTHING
C 1 9 2 8 0 0 4 0 4 7 0 3 0 7 0

B 1 9 2 8 0 4 7 0 4 7 0 3 0 2 0
ZONE EASTING NORTHING
D 1 9 2 8 0 0 0 0 4 7 0 4 4 6 0

VERBAL BOUNDARY DESCRIPTION

Beginning at a point at the northwest corner of the district and then running easterly along the northern property line of 966 Main Street, then proceeding across Main Street, then continuing easterly along the northern property line of 1003 Main Street, then proceeding southerly along the eastern property line of the same property, then easterly along the northern property line of 971 Main Street, then southwesterly along the eastern property line of the same property, then westerly along the southern property

LIST ALL STATES AND COUNTIES FOR PROPERTIES OVERLAPPING STATE OR COUNTY BOUNDARIES

STATE	CODE	COUNTY	CODE
STATE	CODE	COUNTY	CODE

11 FORM PREPARED BY

NAME / TITLE

Andrea Gilmore, Mass. Historical Commission & Phyllis Farnsworth, Lancaster Hist. Com.

ORGANIZATION

Massachusetts Historical Commission

DATE

October 8, 1976

STREET & NUMBER

294 Washington Street

TELEPHONE

617-727-8470

CITY OR TOWN

Boston

STATE

Massachusetts 02108

12 STATE HISTORIC PRESERVATION OFFICER CERTIFICATION

THE EVALUATED SIGNIFICANCE OF THIS PROPERTY WITHIN THE STATE IS:

NATIONAL

STATE

LOCAL ☒

As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the National Park Service.

STATE HISTORIC PRESERVATION OFFICER SIGNATURE

TITLE Executive Director, Massachusetts Historical Commission

DATE

10/22/76

FOR NPS USE ONLY

I HEREBY CERTIFY THAT THIS PROPERTY IS INCLUDED IN THE NATIONAL REGISTER

DIRECTOR, OFFICE OF ARCHEOLOGY AND HISTORIC PRESERVATION

KEEPER OF THE NATIONAL REGISTER

ATTEST:

KEEPER OF THE NATIONAL REGISTER

DATE

DATE

HISTORIC PLACES INVENTORY

7/41

Form No. 10-300a
(Rev. 10-74)

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

NATIONAL REGISTER OF HISTORIC PLACES INVENTORY -- NOMINATION FORM

FOR NPS USE ONLY

RECEIVED

OCT 27 1976

DATE ENTERED

SEP 15 1977

CONTINUATION SHEET

ITEM NUMBER

PAGE

10

1

Verbal Boundary
Description

line of 875 Main Street, then southerly along the eastern property line of 832 Main Street, then westerly along the southern property line of the same property, then southerly along the eastern property line of 809 Main Street, then easterly along the property line of the same property, then southwesterly along the same property line, and continuing southerly along the eastern property line of 26 Packard Street, then across Packard Street, and continuing southerly along the eastern property line of 35 Packard Street, and continuing southerly along the eastern property line of 28-30 Harvard Road, then along the southern line of the Harvard Road right of way, then southerly along the eastern property line of the town owned land at 693 through 711 Main Street, then southerly along the eastern property line of 30 Carleton Place, then easterly along the northern property line of 24 through 82 Neck Road, then southwesterly along the western border of the Boston and Maine right of way until Neck Road, then proceeding southeasterly across Neck Road, then southwesterly along the eastern property line of 96 Center Bridge Road, then across Center Bridge Road and proceeding southeasterly along the western line of the Center Bridge Road right of way, then proceeding southwesterly along the southeastern property line of 99 Center Bridge Road, then along the southwestern property line of the same property, then proceeding northwesterly across the Boston and Maine right of way, then southwesterly along the southeastern property line of 85 Center Bridge Road, then proceeding northwesterly along the eastern bank of the Nashua River to a point 200' west of Main Street, then continuing northerly along a line 200' west of Main Street, then running easterly along the northern property line of 976 Main Street, then northerly along the western property line of 966 Main Street and continuing to the starting point.

HISTORIC PLACES INVENTORY

8/41

Form No. 10-300a
(Rev. 10-74)UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

NATIONAL REGISTER OF HISTORIC PLACES INVENTORY -- NOMINATION FORM

FOR NPS USE ONLY	
RECEIVED	OCT 27 1976
DATE ENTERED	SEP 15 1977

CONTINUATION SHEET

ITEM NUMBER

PAGE

District Sketch Map Key 1

- photos
- (1) Joseph Breck House, 47 Center Bridge Rd.
 - (2) Blanche Willard House, 61 Center Bridge Rd.
 - (3) Joseph Andrews House, 77 Center Bridge Rd.
 - (4) Matthews Woods Store, 85 Center Bridge Rd.
 - (5) Breck Seed Barn, 99 Center Bridge Rd.
 - (6) Railroad Warehouse, 96 Center Bridge Rd.
 - (7) Lancaster Depot, 90 Center Bridge Rd.
 - (8) Ezra Sawyer House, 66 Center Bridge Rd.
 - (9) Dr. Calvin Carter House, 13 Neck Rd.
 - (10) Elias Danforth House, 43 Neck Rd.
 - (11) Church of the New Jerusalem, 59 Neck Rd.
 - (12) Col. Samuel Willard House, 82 Neck Rd.
 - (13) Henry Wilder House, 56 Neck Rd.
 - (14) Richard Ward House, 36 Neck Rd.
 - (15) George A. Johnson House, 24 Neck Rd.
 - (16) Aaron Willard House, 14 Neck Rd.
 - (17) Dr. J.L.S. Thompson House, 2 Neck Rd.
 - (18) Mary Whitney House, 659 Main St.
 - (19) Edward L. Greene House, 669 Main St.
 - (20) Lancaster Academy, 19 Carleton Place
 - (21) Raymond Joyce House, 30 Carleton Place
 - (22) Filius Noel House, 20 Carleton Place
 - (23) Tidd-Carleton House, 679 Main St.
 - (24) Elmer Cheney House, 687 Main St.
 - (25) Town Hall, 693 Main St.
 - (26) Center School, 701 Main St.
 - (27) Tercentenary Building, 709 Main St.
 - (28) Town Library, 717 Main St.
 - (29) Bulfinch Church, 725 Main St.
 - (30) Lancaster Hotel Annex, 29 Harvard Rd.
 - (31) Stedman Nourse House, 28-30 Harvard Rd.
 - (32) Raymond Wright House, 22 Harvard Rd.
 - (33) Carter-Andrews Co. Printing Office, 16 Harvard Rd.
 - (34) Poplar Sweete Shoppe, 765 Main St.
 - (35) Post Office, 771 Main St.
 - (36) Old Store and Post Office, 779 Main St.
 - (37) Brick Store, 783-5 Main St.
 - (38) Lemuel Sawyer House, 15 Packard St.

HISTORIC PLACES INVENTORY

9/41

Form No. 10-300a
(Rev. 10-74)

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

NATIONAL REGISTER OF HISTORIC PLACES INVENTORY -- NOMINATION FORM

FOR NPS USE ONLY

RECEIVED OCT 27 1976

DATE ENTERED SEP 15 1977

CONTINUATION SHEET

ITEM NUMBER

PAGE

District Sketch Map

2

- (39) Charles Lyman House, 25 Packard St.
- (40) John Haskell House, 35 Packard St.
- (41) Catholic Church Parsonage, 26 Packard St.
- (42) Evangelical Congregational Church, 793 Main St.
- (43) Congregational Church Parsonage, 801 Main St.
- (44) Immaculate Conception Church, 809 Main St.
- (45) Benjamin Pickman House, 832 Main St.
- (46) Rev. Abijah P. Marvin House, 843 Main St.
- (47) Laura A. Burrage House, 863 Main St.
- (48) Russell McElhiney House, 875 Main St.
- (49) Francis Fleischner House, 887 Main St.
- (50) Mrs. Iver Johnson House, 971 Main St.
- (51) Memorial Building, 991 Main St.
- (52) Hermon Marshall House, 1003 Main St.
- (53) Hon. John Sprague House, 602 Main St.
- (54) Francis Whittemore House, 620 Main St.
- (55) Elias Danforth House, 634 Main St.
- (56) Solon Wilder House, 648 Main St.
- (57) Abby Carter Lane House, 658 Main St.
- (58) George Withington House, 668 Main St.
- (59) Cobb and Johnson Pocketbook Shop, 674 Main St.
- (60) Charles Cobb House, 680 Main St.
- (61) Humphrey Barrett House, 686 Main St.
- (62) Henry C. Brown House, 692 Main St.
- (63) Solon Wilder House, 698 Main St.
- (64) Calvin Clark House 708 Main St.
- (65) Spencer R. Merrick House, 724 Main St.
- (66) Samuel J. S. Vose House, 732 Main St.
- (67) George Carter House, 742 Main St.
- (68) Carter-Andrews Co. Tenants House, 20 Barnes Ct.
- (69) George Richards House, 24 Barnes Ct.
- (70) Parks-Barnes House, 32 Barnes Ct.
- (71) Carter-Andrews Publishing House, 762 Main St.
- (72) Rand-Hintington-Dorr House, 780 Main St.
- (73) Moses Smith House, 792 Main St.
- (74) Lancaster Bank, 800 Main St.
- (75) Ephraim Avery House, 808 Main St.
- (76) Wilder Thurston House, 818 Main St.
- (77) Dr. George M. Bartol House, 843 Main St.

**HISTORIC PLACES
INVENTORY**

10/41

Form No. 10-300a
(Rev. 10-74)

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

**NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM**

FOR NPS USE ONLY

RECEIVED OCT 27 1976

DATE ENTERED SEP 15 1977

CONTINUATION SHEET

ITEM NUMBER

PAGE

District Sketch Map 3

- (78) Murray Potter House, 850 Main St.
- (79) Dwight Goddard House, 868 Main St.
- (80) Benjamin Foster House, 892 Main St.
- (81) Robert Scalley House, 908 Main St.
- (82) John Greene Chandler House, 916 Main St.
- (83) John G. Chandler Carriage House, 922 Main St.
- (84) William McNeil House, 928 Main St.
- (85) James Carter House, 942 Main St.
- (86) Dudley Dorr, Sr. House, 962 Main St.
- (87) Nelson True House, 976 Main St.
- (88) Joslyn House, 996 Main St.

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICENATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM

FOR NPS USE ONLY

RECEIVED DEC 15 1976

DATE ENTERED SEP 15 1977

CONTINUATION SHEET

ITEM NUMBER

PAGE

Center Village Historic District

Key to Numbered Buildings on Map Entitled Center Village District

- (1) Joseph Breck House, 47 Center Bridge Rd. 1831
- (2) Blanche Willard House, 61 Center Bridge Rd. 1914
- (3) Joseph Andrews House, 77 Center Bridge Rd. 1830
- (4) Matthews Woods Store, 85 Center Bridge Rd. 1851
- (5) Breck Seed Barn, 99 Center Bridge Rd. 1831
- (6) Railroad Warehouse, 96 Center Bridge Rd. 1849
- (7) Lancaster Depot, 90 Center Bridge Rd. 1849
- (8) Ezra Sawyer House, 66 Center Bridge Rd. 1834
- (9) Dr. Clavin Carter House, 13 Neck Rd. 1840
- (10) Elias Danforth House, 43 Neck Rd. 1845
- (11) Church of the New Jerusalem, 59 Neck Rd. 1881
- (12) Col. Samuel Willard House, 82 Neck Rd. 1727
- (13) Henry Wilder House, 56 Neck Rd. 1808
- (14) Richard Ward House, 36 Neck Rd. 1887
- (15) George A. Johnson House, 24 Neck Rd. 1876
- (16) Aaron Willard House, 14 Neck Rd. c.1750
- (17) Dr. J.L.S. Thompson House, 2 Neck Rd. 1846
- (18) Mary Whitney House, 659 Main St. 1851
- (19) Edward L. Greene House, 669 Main St. 1901
- (20) Lancaster Academy, 19 Carleton Place 1825
- (21) Raymond Joyce House, 30 Carleton Place, 1947
- (22) Filius Noel House, 20 Carleton Place, 1935
- (23) Tidd Carleton House, 679 Main St. c.1750
- (24) Elmer Cheney House, 687 Main St. 1923
- (25) Town Hall, 693 Main St. 1908
- (26) Center School, 701 Main St. 1904
- (27) Tercentenary Building, 709 Main St. 1953
- (28) Town Library, 717 Main St., 1868
- (29) Bulfinch Church, 725 Main St. 1816
- (30) Lancaster Hotel Annex, 29 Harvard Rd. 1900
- (31) Stedman Nourse House, 28-30 Harvard Rd. 1840
- (32) Raymond Wright House, 22 Harvard Rd. 1947
- (33) Carter-Andrews Co. Printing Office, 16 Harvard Rd. 1832
- (34) Poplar Sweete Shoppe, 765 Main St. 1913
- (35) Post Office, 771 Main St. 1961
- (36) Old Store and Post Office, 779 Main St. 1913
- (37) Brick Store, 783-5 Main St. c.1825
- (38) Lemuel Sawyer House, 15 Packard St. 1831
- (39) Charles Lyman House, 25 Packard St. 1835
- (40) John Haskell House, 35 Packard St. c.1825
- (41) Catholic Church Parsonage, 26 Packard St. 1915
- (42) Evangelical Congregational Church, 793 Main St. 1951

HISTORIC PLACES

INVENTORY

12/41

Form No. 10-300a
(Rev. 10-74)UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICENATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM

FOR NPS USE ONLY

RECEIVED DEC 15 1976

DATE ENTERED SEP 15 1977

CONTINUATION SHEET

ITEM NUMBER

PAGE

Center Village Historic District

Map Key

2

- (43) Congregational Church Parsonage, 801 Main St. 1902
- (44) Immaculate Conception Church, 809 Main St. 1943
- (45) Benjamin Pickman House, 832 Main St. 1814
- (46) Rev. Abijah P. Marvin House, 843 Main St. 1872
- (47) Laura A. Burrage House, 863 Main St. 1885
- (48) Russell McElhiney House, 875 Main St. 1957
- (49) Francis Fleischner House, 887 Main St. 1961
- (50) Mrs. Iver Johnson House, 971 Main St. 1910
- (51) Memorial Building, 991 Main St. 1955
- (52) Hermon Marshall House, 1003 Main St. 1893
- (53) Hon. John Sprague House, 602 Main St. 1785
- (54) Francis Whittemore House, 620 Main St. 1915
- (55) Elias Danforth House, 634 Main St. 1833
- (56) Solon Wilder House, 648 Main St. 1883
- (57) Abby Carter Lane House, 658 Main St. 1870
- (58) George Withington House, 668 Main St. 1832
- (59) Cobb and Johnson Pocketbook Shop, 674 Main St. 1864
- (60) Charles Cobb House, 680 Main St. 1864
- (61) Humphrey Barrett House, 686 Main St. 1858
- (62) Henry C. Brown House, 692 Main St. 1879
- (63) Solon Wilder House, 698 Main St. 1879
- (64) Calvin Clark House, 708 Main St. 1881
- (65) Spencer R. Merrick House, 724 Main St. 1883
- (66) Samuel J.S. Vose House, 732 Main St. 1854
- (67) George Carter House 742 Main St. 1820
- (68) Carter-Andrews Co. Tenants House, 24 Barnes Ct. 1832
- (69) George Richards House, 32 Barnes Court, 1844
- (71) Carter-Andrews Publishing House, 762 Main St. 1800
- (72) Rand-Huntington-Dorr House, 780 Main St. 1810
- (73) Moses Smith House, 792 Main St. 1820
- (74) Lancaster Bank, 800 Main St. 1839
- (75) Ephraim Avery House, 808 Main St. 1890
- (76) Wilder Thurston House, 818 Main St. 1844
- (77) Dr. George M. Bartol House, 843 Main St. 1861
- (78) Murraray Potter House, 850 Main St. 1894
- (79) Dwight Goddard House, 868 Main St. 1920
- (80) Benjamin Foster House, 892 Main St. c.1800
- (81) Robert Scalley House, 908 Main St. 1956
- (82) John Greene Chandler House, 916 Main St. 1869
- (83) John G. Chandler Carriage House, 922 Main St. 1887
- (84) William McNeil House, 928 Main St. 1879
- (85) James Carter House, 942 Main St. 1827/1888

**HISTORIC PLACES
INVENTORY**

13/41

Form No. 10-300a
(Rev. 10-74)

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

**NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM**

FOR NPS USE ONLY

RECEIVED DEC 15 1976

DATE ENTERED SEP 15 1977

CONTINUATION SHEET

ITEM NUMBER

PAGE

Center Village Historic District Map Key 3

(86) Dudley Dorr Sr. House, 962 Main St. 1955

(87) Nelson True House, 976 Main St. 1898

(88) Joslyn House, 996 Main St. c.1780

PROPERTY OWNER LISTING
CENTER VILLAGE HISTORIC DISTRICT
LANCASTER, WORCESTER COUNTY, MASSACHUSETTS

HISTORIC PLACES INVENTORY

Center Village District

15/41

Lancaster, Mass. 01523

<u>Sketch Map #</u>	<u>MHC Inventory #</u>	<u>Name and Address of Historic Home</u>	<u>Name and Address of Owner of Historic Home</u>
1	C64	Joseph Breck House 47 Center Bridge Rd.	✓ Mrs. Pamela McNamara 47 Center Bridge Rd.
2	C63a	Blanche Willard House 61 Center Bridge Rd.	✓ Mr. & Mrs. A. Romeo 61 Center Bridge Rd.
3	C63	Joseph Andrews House 77 Center Bridge Rd.	✓ Mr. & Mrs. William Black 77 Center Bridge Rd.
4	C62	Matthew Woods Store 85 Center Bridge Rd.	✓ Mr. Kennerley Brown & Mrs. June Lynch 85 Center Bridge Rd.
5	C58	Breck Seed Barn 99 Center Bridge Rd.	✓ Robert W. & Avis M. Spencer 99 Center Bridge Rd.
6	C58a	Railroad Warehouse 96 Center Bridge Rd.	✓ Boston & Maine Corporation 150 Causeway St. Boston, MA 02114
7	C59a	Lancaster Depot 90 Center Bridge Rd.	✓ Boston & Main Corporation 150 Causeway St. Boston, MA 02114
8	C59	Ezra Sawyer House 66 Center Bridge Rd.	✓ Mr. John Hart 66 Center Bridge Rd.
9	C60	Dr. Calvin Carter House 13 Neck Rd.	✓ Mr. & Mrs. Harold Sanders 13 Neck Rd.
10	C61	Elias Danforth House 43 Neck Rd.	Mr. & Mrs. Arthur Schmidt 43 Neck Rd.
11	C61a	Church of the New Jerusalem 59 Neck Rd.	Current Topics Club ✓ Mrs. Franklin Perkins, President 732 Main St.
12	C3	Col. Samuel Willard House 82 Neck Rd.	✓ Mr. & Mrs. Willard Redstone 82 Neck Road
13	C2	Henry Wilder House 56 Neck Rd.	✓ Mrs. Evelyn Fentiman 56 Neck Rd.
14	C1a	Richard Ward House 36 Neck Rd.	Mrs. Agnes Richter 36 Neck Rd.
15	C1	George A. Johnson House 24 Neck Rd.	✓ Dr. & Mrs. Richard Guenther 24 Neck Rd.
16	C69	Aaron Willard House 14 Neck Rd.	Mr. & Mrs. Jack Pirozzolo 14 Neck Rd.

HISTORIC PLACES

INVENTORY

16/41

Sketch Map #	Inventory #	Name and Address of Historic Home	Name and Address of Owner of Historic Home
17	C68	Dr. J.L.S. Thompson House 2 Neck Rd.	Mr. & Mrs. John Codman 74 1/2 Pickney Street Boston, MA 02114
18	C72	Mary Whitney House 659 Main St.	Mr. & Mrs. Donald LeRoy 659 Main St.
19	C72a	Edward L. Greene House. 669 Main St.	Mr. & Mrs. Kurt Ganter 669 Main St.
20	C75	Lancaster Academy 19 Carleton Place	Mr. Duncan Macdonald Pine Hill Rd. Bedford, MA 01730
21	C73b	Raymond Joyce House 30 Carleton Place	Mr. & Mrs. Raymond L. Joyce 30 Carleton Place
22	C73a	Filius Noel House 20 Carleton Place	Mr. & Mrs. Richard Martin 20 Carleton Place
23	C73	Tidd-Carleton House 679 Main St.	Dr. & Mrs. Samuel Gilman 679 Main St.
24	C75a	Elmer Cheney House 687 Main St.	Mr. & Mrs. James H. Kerrigan, Jr. 687 Main St.
25	C76	Town Hall 693 Main St.	Town of Lancaster Board of Selectmen Town Hall
26	C76a	Center School 701 Main St.	School Committee Center School 701 Main St.
27	C76b	Tercentenary Building 709 Main St.	School Committee Center School 701 Main St.
28	C77	Town Library 717 Main St.	Board of Trustees Town Library 717 Main St.
29	C77a	First Church of Christ, Unitarian (Bulfinch Church) 725 Main Street	Standing Committee First Church of Christ, Unitarian 725 Main St.
30	C88a	Lancaster Hotel Annex 29 Harvard Rd.	Building is no longer in existence.
31	C88	Stedman Nourse House 28-30 Harvard Rd.	Mr. & Mrs. Donald LaFountain 28-30 Harvard Rd.
32	C87a	Raymond Wright House 22 Harvard Rd.	Mr. & Mrs. Charles Sargent 22 Harvard Rd.
33	C87	Carter-Andrews Co. Print- ing Office 16 Harvard Rd.	Mr. Paul A. Turmaine 16 Harvard Rd.

HISTORIC PLACES
INVENTORY

17/41

Sketch Map #	MHC Inventory #	Name and Address of Historic Home	Name and Address of Owner of Historic Home
34	C86a	Poplar Sweete Shoppe 765 Main St.	Mr. & Mrs. Anthony J. Pelican 765 Main St.
35	C86b	Post Office 771 Main St.	Nicholas & George Prinos 62 Willow St. Clinton, MA 01510
36	C86c	Old Store and Post Office 779 Main St.	Mr. & Mrs. Raymond Joyce 779 Main St.
37	C114	Brick Store 783-5 Main St.	James S. Lockney, Jr. 783-5 Main St.
38	C112	Lemuel Sawyer House 15 Packard St.	Mrs. Prescott Henriques 15 Packard St.
39	C111	Charles Lyman House 25 Packard St.	Mrs. Emma Lou Lawrence 25 Packard St.
40	C113	John Haskell House 35 Packard St.	Mr. William C. Dymont 35 Packard St.
41	C114d	Catholic Church Parsonage 26 Packard St.	Immaculate Conception Church 809 Main St.
42	C114a	Evangelical Congregational Church 793 Main St.	Evangelical Congregational Church 793 Main St.
43	C114b	Congregational Church Parsonage 801 Main St.	Evangelical Congregational Church 793 Main St.
44	C114c	Immaculate Conception Church 809 Main St.	Immaculate Conception Church 809 Main St.
45	C126	Benjamin Pickman House 832 Main St.	Mrs. Francis McCarty 832 Main St.
46	C127	Rev. Abijah P. Marvin House 843 Main St.	Mr. Galen Paul Bruso Kilbourn Rd. So. Lancaster, MA 01561
47	C127a	Laura A. Burrage House 863 Main St.	Mr. & Mrs. Charles Driskell 863 Main St.
48	C127b	Russell McElhiney House 875 Main St.	Mr. & Mrs. Wendell Shepard 875 Main St.
49	C127c	Francis Fleischner House 887 Main St.	The Manor Dr. Franklin Perkins School 971 Main St.
50	C127d	Mrs. Iver Johnson House 971 Main St.	The Manor Dr. Franklin Perkins School 971 Main St.

HISTORIC PLACES INVENTORY

18/41

Sketch Map #	MHC Inventory #	Name and Address of Historic Home	Name and Address of Owner of Historic Home
51	C127e	Memorial Building 991 Main St.	The Manor Dr. Franklin Perkins School 971 Main St.
52	C127f	Hermon Marshall House 1003 Main St.	The Manor Dr. Franklin Perkins School 971 Main St.
53	C65	Hon. John Sprague House 602 Main St.	Standing Committee First Church of Christ, Unitarian 725 Main St.
54	C65a	Francis Whittamore House 620 Main St.	Dr. & Mrs. Alexander St.-Ivanyi 620 Main St.
55	C66a	Elias Danforth House 634 Main St.	Mr. Fred J. Doltoroff 634 Main St.
56	C66a	Solon Wilder House 648 Main St.	Mr. & Mrs. Dick Yeo 37 Lake Shore Dr. East Falmouth, MA 02536
57	C67	Abby Carter Lane House 658 Main St.	Mrs. Jessica Queen 658 Main St.
58	C78	George Withington House 668 Main St.	Mr. & Mrs. Robert Smith 668 Main St.
59	C79	Dobb & Johnson Pocketbook Shop 674 Main St.	Mrs. Henry Polansky 674 Main St.
60	C80	Charles Cobb House 680 Main St.	Mr. & Mrs. Michael Hazel 680 Main St.
61	C81	Humphrey Barrett House 686 Main St.	Evelyn Steele Estate c/o Miss Eleanor Brink 686 Main St.
62	C82	Henry C. Brown House 692 Main St.	Mr. & Mrs. Chester Locke 692 Main St.
63	C83	Solon Wilder House 698 Main St.	Mr. & Mrs. Ernest Bickford 698 Main St.
64	C83a	Calvin Clark House 708 Main St.	Raymond L. Joyce 30 Carlton Place
65	C83b	Spencer Merrick House 724 Main St.	Mr. & Mrs. John Dowd 724 Main St.
66	C84	Samuel J.S. Vose House 732 Main St.	Mr. & Mrs. Franklin Perkins 732 Main St.
67	C85	George Carter House 742 Main St.	Mr. & Mrs. Dale McMullen 742 Main St.

HISTORIC PLACES
INVENTORY

19/41

Sketch Map #	MHC Inventory #	Name and Address of Historic Home	Name and Address of Owner of Historic Home
68	C118	Carter-Andrews Co. Tenants House 20 Barnes Court	Mr. John Evans 20 Barnes Court
69	C117	George Richards House 24 Barnes Court	Mrs. Marilyn Seaquist 24 Barnes Court
70	C116	Parks-Barnes House 32 Barnes Court	Mr. & Mrs. Dudley Dorr 32 Barnes Court
71	C115	Carter-Andrews Publishing House 762 Main St.	Mr. & Mrs. John Gilmore 762 Main St.
72	C121	Rand-Huntington-Dorr House 780 Main St.	Mr. & Mrs. Lee Jamieson 780 Main St.
73	C122	Moses Smith House 792 Main St.	Mr. & Mrs. Robert Follansbee, Jr. 792 Main St.
74	C123	Lancaster Bank 800 Main St.	Water Department Town Of Lancaster 800 Main St.
75	C124	Ephriam Avery House 808 Main St.	Mr. & Mrs. Michael Grivakis 808 Main St.
76	C125	Wilder Thurston House 818 Main St.	Mr. & Mrs. Robert S. Follansbee, St. 818 Main St.
77	C128	Dr. George M. Bartol House 843 Main St.	Mr. & Mrs. Austin Philbin 843 Main St.
78	C129	Murray Potter House 850 Main St.	Weymouth Hall Dr. Franklin Perkins School 971 Main St.
79	C130	Dwight Goddard House 868 Main St.	Curtis Hall Dr. Franklin Perkins School 971 Main St.
80	C131	Benjamin Foster House 892 Main St.	Mr. & Mrs. Donald Parsons 892 Main St.
81	C132	Robert Scalley House 908 Main St.	Mr. & Mrs. John Wolfe 908 Main St.
82	C134	John Greene Chandler House 918 Main St.	Mr. & Mrs. William Snow, Jr. 918 Main St.
83	C134a	John Greene Chandler Carriage House 922 Main St.	Dr. & Mrs. Owen Mattingly 922 Main St.
84	C135	William McNeil House 928 Main St.	Mrs. Eleanor Richards 928 Main St.

**HISTORIC PLACES
INVENTORY**

20/41

<u>Sketch Map #</u>	<u>MHC Inventory #</u>	<u>Name and Address of Historic Home</u>	<u>Name and Address of Owner of Historic Home</u>
85	C136	James Carter House 942 Main St.	✓ Mr. & Mrs. Herbert Hayden 942 Main St.
86	C137a	Dudley Dorr, Sr. House 962 Main St.	✓ Dr. & Mrs. Leon Osachuk 962 Main St.
87	C137b	Nelson True House 976 Main St.	✓ Mr. & Mrs. William Hopfmann 976 Main St.
88	C138	Joslyn House 966 Main St.	✓ White Hall Dr. Franklin Perkins School 971 Main St.

HISTORIC PLACESProperty Center Village District**INVENTORY**

21/41

State MassWorking Number 10.27.76.4394Worcester**TECHNICAL****CONTROL**Photos 23
Maps 1, sketch mapKP
OK 10.27.76solely architectural, but looks ok.**HISTORIAN**accept
S. Gravina
11/12/76USGS AND SKETCH MAP DIFFER SLIGHTLY ON SOUTHWEST BOUNDARY
BUT VERBAL BOUNDARY DESC. AND SKETCH MAP ARE IDENTICAL**ARCHITECTURAL HISTORIAN**accept
Call
L. E. Boush
12.2.76
12.2.76**ARCHEOLOGIST****OTHER****HAER**

Inventory _____

Review _____

REVIEW UNIT CHIEFaccept
Cole
8-22-77**BRANCH CHIEF**Hunt
9.8.77**KEEPER**Am
9.15.77

National Register Write-up _____

Send-back _____

Entered SEP 15 1977Federal Register Entry 11-1-77

Re-submit _____

INT:2106-74



**HISTORIC PLACES
INVENTORY**
Center Village Historic District
Lancaster, MA
May 1975
Wendell P. Bartlett
Lancaster Historical Commission
Lancaster, Massachusetts

Photograph #18 of 23
Looking northeast towards the Town Library

SEP 15 1977 OCT 27 1976 08

Worcester County

23/41

PROPERTY OF THE NATIONAL REGISTER

Town Green District
277 Memorial Hall (Town Library)
717 Main Street
Lancaster, Mass.
May 1975
Photograph, Wendell Bartlett

20

Missing Core Documentation

Property Name	County, State	Reference Number
Center Village District	Worcester County, Massachusetts	77000198

The following Core Documentation is missing from this entry:

☐ Nomination Form

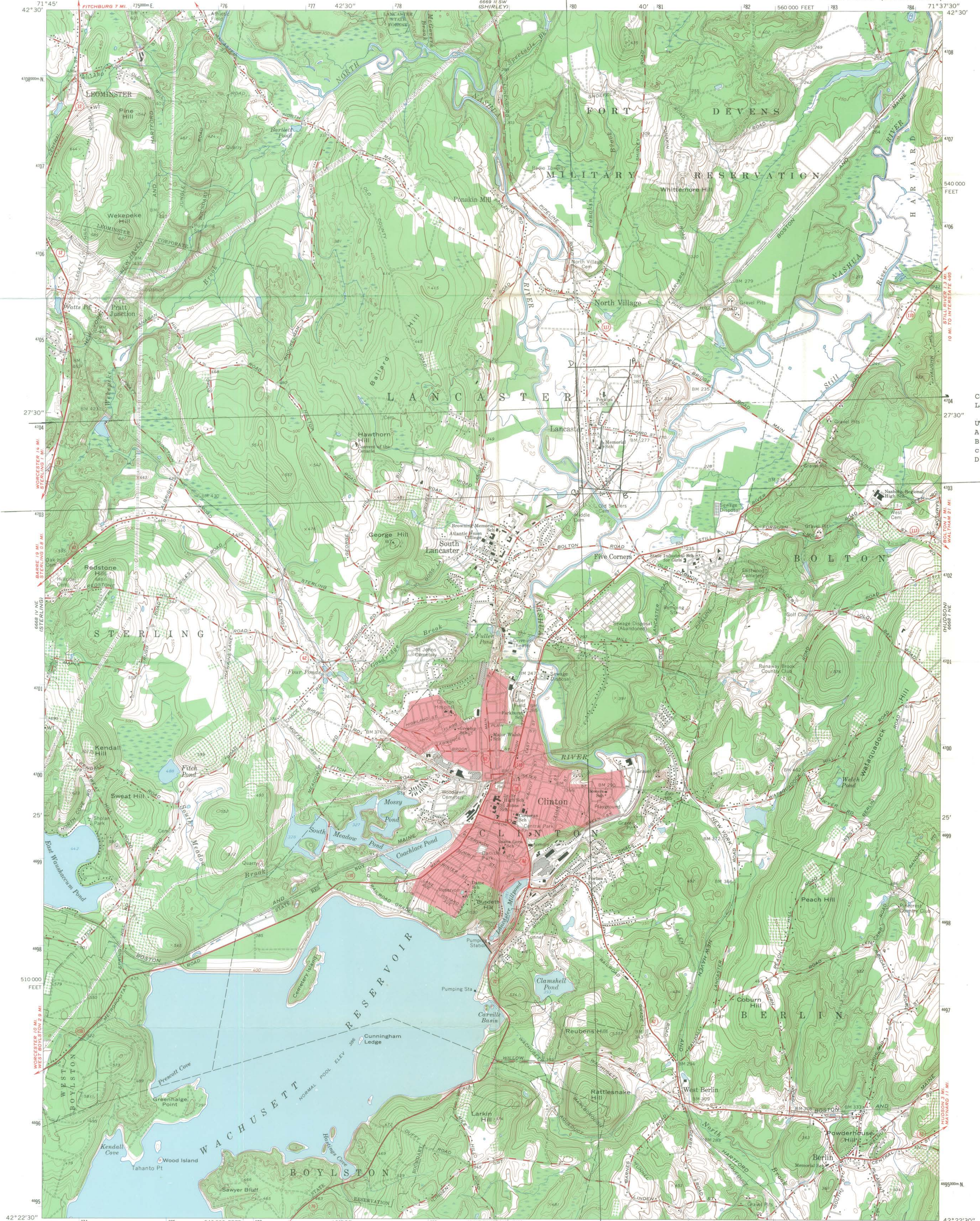
☒ Photographs (missing #22-23)

☐ USGS Map

UNITED STATES
DEPARTMENT OF THE INTERIOR
GEOLOGICAL SURVEY

COMMONWEALTH OF MASSACHUSETTS
DEPARTMENT OF PUBLIC WORKS

CLINTON QUADRANGLE
MASSACHUSETTS—WORCESTER CO.
7.5 MINUTE SERIES (TOPOGRAPHIC)



Center Village District
Lancaster, MA.

UTM References:
A. 19/280620/4704460
B. 19/280470/4703020
C. 19/280040/4703070
D. 19/280000/4704460

Mapped, edited, and published by the Geological Survey
Control by USGS, USC&GS, and Massachusetts Geodetic Survey
Planimetry by photogrammetric methods from aerial photographs
taken 1939. Topography by planetable surveys 1923 and 1940
Revised 1965

Polyconic projection. 1927 North American datum
10,000-foot grid based on Massachusetts coordinate system,
mainland zone
1000-meter Universal Transverse Mercator grid ticks,
zone 19, shown in blue
Red tint indicates area in which only landmark buildings are shown

UTM GRID AND 1965 MAGNETIC NORTH
DECLINATION AT CENTER OF SHEET

SCALE 1:24,000
CONTOUR INTERVAL 10 FEET
DATUM IS MEAN SEA LEVEL

QUADRANGLE LOCATION

ROAD CLASSIFICATION
Heavy-duty ——— Light-duty ———
Medium-duty ——— Unimproved dirt ———
State Route ———

CLINTON, MASS.
N4222.5—W7137.5/7.5

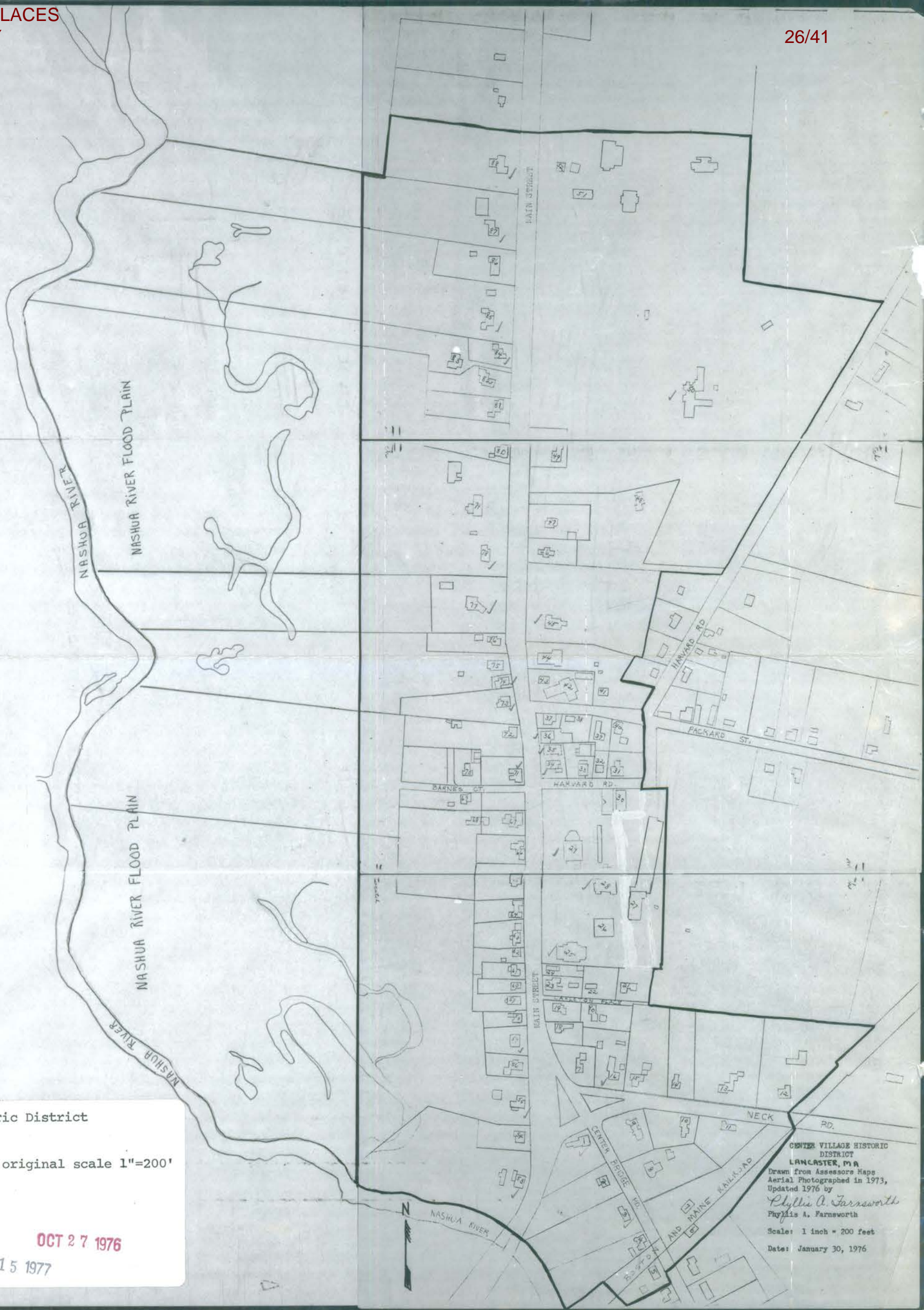
1965
AMS 6668 1 NW—SERIES V814



SEP 15 1977

Center Village Historic District
Lancaster, Ma.
District Sketch Map
Photoreduced from an original scale 1"=200'
1973, revised 1976

OCT 27 1976
SEP 15 1977



CENTER VILLAGE HISTORIC
DISTRICT
LANCASTER, MA
Drawn from Assessors Maps
Aerial Photographed in 1973,
Updated 1976 by
Phyllis A. Farnsworth
Phyllis A. Farnsworth
Scale: 1 inch = 200 feet
Date: January 30, 1976



CENTER VILLAGE HISTORIC
DISTRICT
LANCASTER, MA
Drawn from Assessors Maps
Aerial Photographed in 1973,
Updated 1976 by
Phyllis A. Farnsworth
Phyllis A. Farnsworth
Scale: 1 inch = 200 feet
Date: January 30, 1976



The Commonwealth of Massachusetts

Office of the Secretary

Massachusetts Historical Commission

*Secretary of the
Commonwealth*

*294 Washington Street Boston, Massachusetts 02108
(617) 727-8470*

October 21, 1976

Mr. Charles Herrington
Registrar
National Register
National Park Service
Department of the Interior
Washington, D.C. 20240

Dear Charles:

Enclosed please find nomination forms for the following properties:

Concord, Monument Square-Lexington Road Historic District
Lancaster, Center Village District
Northampton, Calvin Coolidge House
Weston, Samuel Train House

These properties were reviewed by the Massachusetts Historical Commission (State Review Board) and have been signed by the State Historic Preservation Officer, Elizabeth R. Amadon.

Sincerely yours,

Patricia L. Weslowski
Survey Director
Massachusetts Historical Commission

encl.
PLW/jro



HISTORIC PLACES
INVENTORY



PAUL GUZZI

The Commonwealth of Massachusetts

29/41

Office of the Secretary

Massachusetts Historical Commission

*Secretary of the
Commonwealth*

*294 Washington Street Boston, Massachusetts 02108
(617) 727-8470*

December 8, 1976

Mr. William Lebovich
National Register of Historic Places
Department of the Interior
Washington, D.C. 20240



Dear Bill:

Enclosed please find the revised District Sketch Map Key for the
Lancaster Center Village Historic District NR nomination. I
hope that this is satisfactory; if you need anything else, please
let me know.

Sincerely,

A handwritten signature in cursive script, appearing to read "Joe Orfant".

Joseph R. Orfant
National Register Editor
Massachusetts Historical Commission

JRO/edh
enc.

HISTORIC PLACES
INVENTORY



United States Department of the Interior

30/41

NATIONAL PARK SERVICE
WASHINGTON, D.C. 20240

IN REPLY REFER TO:
H34-880

JUN 30 1977

Dear Property Owner:

As you have probably already been informed by State or local representatives, the property you own is included in a district that has been nominated by the State for listing in the National Register which is that list of evidences of the past deemed worthy of keeping for the future by the Secretary of the Interior. This nomination is pending in our office.

Since you may not have been aware of potential benefits and provisions of the Tax Reform Act of 1976 when the district including your property was originally considered by the State for nomination, we are sending informative material at this time. If you wish to make comments about your property or the district relative to the National Register "Criteria for Evaluation" (see enclosed green leaflet), we will be pleased to consider them as an adjunct to our evaluation of placing your property in the National Register. Comments should be made within 30 days of the date of this letter and should be addressed to Dr. William J. Murtagh, Keeper of the National Register, National Park Service, Department of the Interior, Washington, D.C. 20240.

Information concerning standards for rehabilitation may be obtained from Technical Preservation Services, Office of Archeology and Historic Preservation, National Park Service, Department of the Interior, Washington, D.C. 20240.

Questions concerning the National Register program or the implementation of the historic preservation provisions of the Tax Reform Act should also be addressed to the Keeper of the National Register. Inquiries must include the name of the district (see address label) and property address to be properly handled.

Sincerely yours,

William J. Murtagh
Keeper of the National Register

Enclosures

ENTRIES IN THE NATIONAL REGISTER

STATE MASSACHUSETTS

Date Entered SEP 15 1977

Name

Location

Center Village District

Lancaster
Worcester County

Also Notified

Hon. Edward W. Brooke
Hon. Edward M. Kennedy
Hon. Robert F. Drinan

Regional Director, North Atlantic
Region

State Historic Preservation Officer
Mrs. Elizabeth R. Amadon
Executive Director, Massachusetts
Historical Commission
294 Washington Street
Boston, Massachusetts 02108

880

Mott/js

9/22/77

Yp
send TRH
+ effects
HISTORIC PLACES
INVENTORY

Centre Village Historic District 7/17/79
Realtors / Appraisers / Consultants 32/41

H&H (MA)

ARCHIE J. HORNE
American Institute of Real Estate Appraisers (MAI)
Society of Real Estate Appraisers (SREA)

CALVIN B. HASTINGS
American Institute of Real Estate Appraisers (RM)
Society of Real Estate Appraisers (SRA)
Greater Worcester Board of Realtors

Worcester Co

July 31, 1979

Dr. William J. Murtagh
Keeper of the National Register
Heritage Conservation & Recreation Service
Department of the Interior
Pension Building
440 G Street, N.W.
Washington, D.C. 20243

Attention: NOM

Re: Center Village
Historic District
Swiacki Realty Building
Southbridge, MA

Dear Dr. Murtagh:

I am in receipt of your letter of July 23, 1979 informing me of the building which I have recently purchased, is being nominated for a listing in the National Register of Historic Places. Since this property, in addition to housing my business, is an income property, I am concerned as to what effect this nomination may have on my future use of the facility.

I would therefore greatly appreciate it if you could forward to me more information relative to the program to properly help me evaluate its effect on my property.

Thank you for your cooperation in this matter.

Sincerely


Calvin B. Hastings, President
Bay Path Development Corporation

CBH/dn

cc: David Kearsley, WCNB

HORNE and HASTINGS ASSOCIATES, Incorporated

55 LINDEN STREET, WORCESTER, MASSACHUSETTS 01609 / TELEPHONE: (617) 756-5761

THE NATIONAL REGISTER OF HISTORIC PLACES

DATE REC'D AUG 2 1979

____ INDIVIDUAL RESPONSE (ATTACH)

____ INFORMATIONAL MATERIAL SET

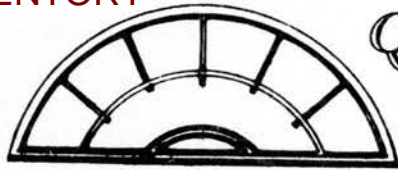
____ TELEPHONE CALL (ATTACHED)

DATE FIELD TAKEN _____

INITIALS _____

01/89

48
HISTORIC PLACES
INVENTORY



Centre Village Historic District
34/41
7/17/79
(MA)
Quinebaug Valley
Council for the
Arts & Humanities

111 Main Street, Southbridge MA 01550

(617) 764-3341

August 2, 1979

Dr. William J. Murtagh
Keeper of the National Register
Heritage Conservation and Recreation Service
Department of the Interior
Pension Building
440 G Street, N.W.
Washington, DC 20243

Attention: NOM

Dear Dr. Murtagh:

I, in reference to H32-NR, am genuinely pleased that the Centre Village Historic District has been identified and nominated for listing in the National Register of Historic Places. A reviewer of Abbott Lowell Cummings' book, The Framed Houses of Massachusetts Bay 1625-1725, states: "A nation's buildings are a record of the character and aspirations of its people." A sense of the past is urgently needed as we pass so increasingly quickly into the future. A district such as this serves as a focus for our understanding of the importance of our past accomplishments and learned lessons; and as a stage on which to concentrate our understanding and resolving of current situations. It also helps to manifest pride, curiosity, a sense of community, and other wonderful qualities. Also, the criteria for evaluation of nomination are handsomely met by this area.

From my vantage point as Executive Director of the Quinebaug Valley Council for the Arts & Humanities, located at 111 Main Street, Southbridge, Massachusetts, I must state that inclusion of our property in a historic district would have financial benefits as well as the numerous benefits of distinction. Henry Harlow, Chief Curator, Old Sturbridge Village has said the following about 111 Main Street:

The House is an important example of early nineteenth century architecture. It is one of the very few examples still standing in the Town. The house retains many of the elements incorporated in the original construction. The families were always prominent citizens of the Town. Being families of means, their Victorian alterations were done in a grand style and give an interesting aspect to the present-day appearance.

The house set in the midst of its grounds is a beautifully restful spot in the midst of a commercial neighborhood.

HISTORIC PLACES
INVENTORY

35/41

Dr. William J. Murtagh

Page 2

August 2, 1979

I urge you to act favorably on the nomination to place the Centre Village Historic District on the National Register of Historic Places. Thank you.

Sincerely,

Mark Winetrout

Mark Winetrout
Executive Director
QVCAH

MW/11

cc: Mrs. Bernard Walkowiak

THE NATIONAL REGISTER OF HISTORIC PLACES	
AUG 6 1979	
DATE REC'D	
INDIVIDUAL RESPONSE (ATTACHED)	
INFORMATIVE MATERIAL SENT	
T.L. PHONE CALL (ATTACHED)	
DATE ACFT. IN TAKEN	
INITIALS	

c/l/s of

HISTORIC PLACES
INVENTORY

Robert & Erma Lataille
192 Everett St.
Southbridge, MA 01550

RE: Centre Village Historic District
Costa Block

CENTRE VILLAGE HISTORIC
DISTRICT 7/11/79 37/41

August 6, 1979

UP
Dear Mr. Muntagh:

(M)

I have received your letter on July 23, regarding the historic district that my building is located on and my wife and I would like to be considered in being listed in the National Register. We have done some renovations on the building, the work will be completed in two more weeks. We had the building renovated to it's early 1900 appearance, and this will blend in with the downtown renovations that was completed last year.

Hope to hear from you again

Sincerely

Robert R. Lataille

HISTORIC PLACES
INVENTORY

38/41

THE NATIONAL REGISTER OF HISTORIC PLACES

DATE REC'D AUG 9 1979

INDIVIDUAL PAUL J. JONES (ATTACHED)

INFORMATIVE MATERIAL SENT

TELEPHONE CALL (ATTACHED)

DATE ACTION TAKEN

INITIALS

6/1

HISTORIC PLACES
INVENTORY

Centre Village Historic District
7/17/79

39/41

August 16, 1979
P.O. Box 443
Southbridge, MA 01550

Dr. William J. Murtagh
Keeper of the National Register
Heritage Conservation & Recreation Serv.
Department of the Interior
Pension Building
440 G Street, N.W.
Washington, D.C. 20243

(MA)

Attention: NOM

Re: Croce R. DiGregorie Reply Reference: H32-NR
P.O. Box 443
Southbridge, MA 01550

Centre Village Historic District
Whitford Building

Dear Sir:

In reply to your letter of July 23, 1979, I was certainly pleased to see that you are considering putting my building and other parts of the downtown Southbridge on your National Register of Historic Places. I think that our downtown is one of the finest examples of late Victorian architecture of any downtown Main Street any where in the United States. It would certainly be a crime if we could not maintain and continually try to rehabilitate this great example of turn of the century architecture.

The history of our town over the last approximate 100 years as the center of southern Worcester County's economic and social development is certainly related to the buildings on Main Street and the activities that have taken place from those buildings. Culminating in our recent recognition as an All American City for the year 1979, it is my intention if my building is listed in the National Register of Historic Places to take advantage of the tax incentives and rehabilitate and upgrade my building so that it can continue without decay and become a reminder of our past history. It is my intention to keep the building consistent with its historic character and consistent with the character of the entire Main Street. I shall certainly comply with the standard of the Secretary of Interior for rehabilitation if our area is named to the National Register of Historic Places.

Southbridge can look with great pride at its great past, especially with the kind of buildings that we can maintain and show off to future generations.

Very truly yours,

Croce R. DiGregorio

Croce R. DiGregorie

CRD:LH

NR Data Sheet

HISTORIC PLACES
INVENTORY

DATE: 12.2.76
Reviewer: INITIALS: 40/41
NR
DOE

SEP 15 1977

NAME AS IT APPEARS IN FEDERAL REGISTER: Center Village District

OTHER NAMES:

LOCATION:

STREET & NUMBER irregular pattern along Main St.
CITY, TOWN Lancaster CONGRESSIONAL DISTRICT 2nd
STATE Massachusetts VICINITY OF 025 COUNTY Worcester code 027

OWNER OF PROPERTY: (Circle) PRIVATE STATE LOCAL GOV'T MUNICIPAL COUNTY OTHER

ADMINISTRATOR(underline)

FEDERAL (AGENCY NAME):

NPS REGION: (CIRCLE) N. ATLANTIC MID ATLANTIC SOUTHEAST MIDWEST
SOUTHWEST ROCKY MOUNTAIN WEST PACIFIC NORTHWEST

FEATURES:

	INTERIOR	EXTERIOR	ENVIRONS
CONDITION -	<input type="checkbox"/> Substantially intact-1 <input type="checkbox"/> unknown - 4 <input type="checkbox"/> not applicable - 7	<input type="checkbox"/> Substantially intact-2 <input type="checkbox"/> unknown - 5 <input type="checkbox"/> not applicable - 8	<input type="checkbox"/> Substantially intact-3 <input type="checkbox"/> unknown - 6 <input type="checkbox"/> Not applicable-9
	<input type="checkbox"/> Interior, exterior, environs not intact-0		
	<input type="checkbox"/> EXCELLENT <input type="checkbox"/> GOOD <input type="checkbox"/> FAIR	<input type="checkbox"/> DETERIORATED <input type="checkbox"/> RUINS <input type="checkbox"/> UNEXPOSED <input type="checkbox"/> Unexcavated	<input type="checkbox"/> UNALTERED <input type="checkbox"/> ALTERED <input type="checkbox"/> Reconstructed <input type="checkbox"/> Excavated
ACCESS -	<input type="checkbox"/> Yes-restricted <input checked="" type="checkbox"/> Yes-unrestricted	<input type="checkbox"/> No access	<input type="checkbox"/> Unknown

historic district? YES NO

WITHIN NATIONAL REGISTER HISTORIC DISTRICT? YES NO
IF YES, NAME:

WITHIN NATIONAL HISTORIC LANDMARK? YES NO
IF YES, NAME:

ADAPTIVE USE: YES NO Saved? YES NO

FUNCTION(S): (use vocabulary words)

then-

now-

SIGNIFICANCE:

<input type="checkbox"/> ARCHEOLOGY-PREHISTORIC	<input type="checkbox"/> CONSERVATION	<input type="checkbox"/> LANDSCAPE ARCHITECTURE	<input checked="" type="checkbox"/> RELIGION	<input type="checkbox"/> entertainment
<input type="checkbox"/> ARCHEOLOGY-HISTORIC	<input type="checkbox"/> ECONOMICS	<input type="checkbox"/> LAW/Gov't/politics	<input type="checkbox"/> SCIENCE	<input type="checkbox"/> health
<input checked="" type="checkbox"/> AGRICULTURE	<input type="checkbox"/> EDUCATION	<input type="checkbox"/> LITERATURE	<input checked="" type="checkbox"/> SOCIAL/HUMANITARIAN	<input type="checkbox"/> recreation
<input type="checkbox"/> ARCHITECTURE	<input type="checkbox"/> ENGINEERING	<input type="checkbox"/> MILITARY		<input type="checkbox"/> settlement
<input type="checkbox"/> ART	<input type="checkbox"/> EXPLORATION	<input type="checkbox"/> MUSIC		<input type="checkbox"/> socio/cultural
<input type="checkbox"/> COMMERCE	<input type="checkbox"/> INDUSTRY	<input type="checkbox"/> PHILOSOPHY	<input type="checkbox"/> TRANSPORTATION	<input type="checkbox"/> urban & commun
<input type="checkbox"/> COMMUNICATIONS	<input type="checkbox"/> INVENTION	<input type="checkbox"/> POLITICS/GOVERNMENT	<input type="checkbox"/> OTHER (SPECIFY)	<input type="checkbox"/> planning

Claims

"first" YES NO "oldest" YES NO "only" YES NO

**HISTORIC PLACES
INVENTORY**

41/41

ARCHITECTURAL STYLE:

architect/m.builder:

landscape/garden designer:

interior decorator:

engineer:

artist/artisan:

builder/contractor:

ETHNIC GROUP:

NAMES:

personal

(label role

&

appropriate date)

events

institutional

DATES:

DATE OF CONSTRUCTION (Specific date or 1/4 of century):

DATE(S) OF "MAJOR" ALTERATIONS:

HISTORICALLY SIGNIFICANT DATE(S):

SOURCE:

(OF NOMINATION)

PRIVATE

STATE

LOCAL GOV'T

MUNICIPAL

COUNTY

OTHER

FEDERAL AGENCY:

ACREAGE:

(to nearest tenth of an acre)

COMMENTS: (include architectural information here)

SIGNIFICANCE: (maximum two sentences)



LANCASTER BOARD OF SELECTMEN
Regular Meeting Minutes
Of August 17, 2020

I. CALL TO ORDER

Chairman Jay M. Moody called the Regular Meeting of the Board of Selectmen to Order at 6:00 P.M. via ZOOM™. Present were Selectmen Walter F. Sendrowski, Jason A. Allison and Town Administrator Orlando Pacheco.

ZOOM™ Meeting ID
849 4190 1951

Invite Link
<https://us02web.zoom.us/j/84941901951>

II. PUBLIC COMMENT PERIOD - NONE

6:00 P.M. Opportunity for public to address their concerns, make comment and offer suggestions on operations or programs, except personnel matters. *Complaints or criticism directed at staff, volunteers, or other officials shall not be permitted.*

III. APPROVAL OF MEETING MINUTES

Review and take action on Regular Meeting Minutes of August 3, 2020

Selectman Allison moved to approve the Regular Meeting Minutes of August 3, 2020. Selectman Sendrowski Seconded. Jason A. Allison vote Aye, Jay M. Moody vote Aye and Walter F. Sendrowski vote Aye. [3-0-0]

IV. SCHEDULED APPEARANCES & PUBLIC HEARINGS

1. Joint Meeting with the Planning Board

Vote to be taken on appointing new member to the Planning Board

Chairman Moody opened the Joint Meeting with the Planning Board to appoint a new member to the Planning Board. Planning Board Chair Jeanne Rich opened the Joint Meeting with the Board of Selectmen.

Planning Board Chair moved to appoint Frank Sullivan to the Planning Board as member to fill the vacated seat, term to expire May 12, 2021. Seconded. Jean Rich vote Aye, Tom Christopher vote Aye, Russ Williston vote No, Carol Jackson vote No, Jay Moody vote No, Jason Allison vote No, Walter R. Sendrowski vote Aye. [3-4-0] Motion fails

Move to appoint Roy Mirabito, as member to the Planning Board, term to expire May 12, 2021. Seconded. Jeanne Rich vote No, Tom Christopher vote No, Russ Williston vote Aye, Carol Jackson vote Aye, Jay M. Moody vote Aye, Jason A. Allison vote Aye and Walter F. Sendrowski vote No. [4-3-0] Motion Passes.

Both Board of Selectmen and Planning Board thanked all the candidates.

V. BOARDS, COMMITTEES AND DEPARTMENTS REPORTS -

Update from Council on Aging

COA Director Alix Turner gave an overview on what the Council on Aging has been doing, noting that they are in the midst of a public health emergency (COVID) and have been closed to the public since the middle of March.

Alix Turner thanked her team, David James and Melanie Trottier and many volunteers, who have been at the LCC every week and instead of bringing people in, she and her team have been pivoting to keep people home.

Administrative:

- . Meetings with Elder Affairs, AARP to discuss best practice and what to do during this pandemic.
- . Van Service is limited and has been used to distribute meals to the seniors.
- . Meals on Wheels Census went up due to the Covid 19
- . Melanie Trottier, Community Services Liaison has resigned
- . Job opening for a Community Services Liaison

Projects:

- . Creation of Senior Angels to help those Seniors in social isolation
- . Classes in teaching Seniors using basic internet essentials
- . Fuel Assistance Programs
- . Outdoor Fitness Programs
- . Gardening
- . On line crafting

Senior Tax Abatement

COA member Michele MacDonald and COA Director Alix Turner would like the Board of Selectmen, Board of Assessors and Town Administrator Pacheco work with the COA regarding how to continue with the Senior Tax Abatement program during the Pandemic. They are seeking ideas and guidance on what is available for Seniors and how to get their hours or get their money.

Town Administrator Pacheco noted that the Department of Revenue (DOR), guidance is if they do not have the ability to work, they do not look favorably on just giving money to those in the program. He did note that if there was a systemically process in place, the DOR would review it. Mr. Pacheco stated that they should communicate with other neighboring towns on how they are running the Senior Work off programs.

Health Fair

Alix Turner stated that there will be an Outdoor Flu Clinic this October, and is coordinating the clinic with the Board of Health.

VI. TOWN ADMINISTRATOR REPORT

Town Administrator Orlando Pacheco will update the Board on the status of current projects pending

7a: LANCASTER BOARD OF SELECTMEN
Regular Meeting Minutes Of August 17, 2020

3/7

1) **Solar Array Production/SREC payments**

Town Administrator Pacheco reported that the Q1 2020 numbers came in for the array. He noted that 133 SRECS were generated and the Town has received a payment in the amount of \$43,537.58.

2) **Devens UXO Statement**

Some unexploded ordnance (UXO) remnants were found in the Nashua River and disposed of properly by the US Army. Town Administrator Pacheco stated that MassDevelopment wanted to make its border communities aware and the Army can be contacted for further details.

3) **Prescott Sign**

The preliminary design(s) is complete for the sign in the Prescott Building. Mr. Pacheco noted the attached is a template and for consideration additional signs directing people from various sides of the building.

4) **Bolton Fairgrounds**

In an effort to deal with the loss of revenue from the Bolton Fair, which was cancelled, the Bolton Fairgrounds is looking to have a holiday light drive-thru event from Thanksgiving until Christmas. Mr. Pacheco noted that they have reached out to give Lancaster some notice and understands they will need to apply for the appropriate permits.

5) **Prescott Elevator**

Town Administrator Pacheco reported the Prescott Building elevator is out of use so the maintenance company, Baystate Elevator, can replace the seals. The work will be completed this week.

6) **MS4 Permit Update**

The update to the MS4 Permit is due to the EPA on September 28, 2020. Town Administrator Pacheco noted he will be coordinating this with Planning and DPW, so it is clear who is the point of contact and responsible party is. The Town has no impending issues that would trigger a denial of the permit.

VII. ADMINISTRATION, BUDGET, AND POLICY
--

1. Review and take action on Warrant for State Primary, to be held on September 1, 2020 at the Town Hall from 7:00am – 8:00pm.

Selectman Allison moved to approve the Warrant for State Primary, to be held on September 1, 2020 at the Town Hall from 7:00am -8:00pm. Selectman Sendrowski Seconded. Jay A. Allison vote Aye, Jay M. Moody vote Aye and Walter F. Sendrowski vote Aye. [3-0-0]

2. Continue discussion on the Town Planner vacancy

Selectman Allison noted that he has had positive conversations with Town Administrator Pacheco regarding the process of filling the position of Town Planner.

Town Administrator Pacheco noted that the job has been posted on the Town's website, Massachusetts Municipal Association (MMA) website and the American Planning Association website.

Selectman Allison commented this agenda item is complete.

Board of Selectmen
7th Lancaster Board of Selectmen
Regular Meeting Minutes Of August 17, 2020

4/7

3. Update on Occupancy Permits

Selectman Allison met with Town Administrator Pacheco to review the number of occupancy permits that had been issued prior to the booster station being completed. He noted that the next step is he and Mr. Pacheco will continue down this path to figure out what happened and will report back to the Selectmen in the next meeting or the one after that.

4. Discussion on formulating Economic Development Committee

- . Advertise for members

Chairman Moody noted that he had sent an email out to the Selectmen explaining the need for an Economic Development Committee.

Selectman Allison moved to form an Ad Hoc Economic Development Committee for sixty (60) days as outlined by Chairman Moody put forth, for the purpose of developing a charter for the Board of Selectmen's review and makes a determination for the committee to become permanent. Selectman Sendrowski Seconded. Jason A. Allison vote Aye, Jay M. Moody vote Aye and Walter F. Sendrowski vote Aye. [3-0-0]

5. Discuss proposed additions to the Board of Selectmen Policies and Procedures document

Selectman Allison would like to have the following sections to be added to the Board of Selectmen Policies and Procedures:

- . Role and responsibility of the signatory in signing warrants for the payment of all town bills;
- . Process and schedule for signing of the warrants for the payment of all town bills; and
- . How to review the warrant for the payments of all town bills.

Selectman Allison explained that in the Selectmen's Policies and Procedures, there is no reference to this and would like to insert these sections to compliment the document. He noted that the Massachusetts Municipal Association Handbook for Selectmen does reference the roles of Selectmen and their certain statutory authority for financial matters.

Town Administrator Pacheco stated that at the next Selectmen's meeting, he will come up with the language and the laws that reference the role and responsibility of the signatory as well as the process.

6. Continue discussion and may take action on Intermunicipal Agreement between Municipalities and Devens regarding sharing services and costs of a common Regional Housing Consultant (RHC).

Chairman Moody and Victoria Petracca went to the Town of Hudson met with Jack Hunter, Planning & Community Development Director, regarding this Intermunicipal Agreement and the sharing of services and costs of a Regional Housing Consultant. Chairman Moody stated that this would be a positive thing for the Town of Lancaster, and asked the other Selectmen on their thoughts regarding this contract.

Selectman Allison noted that he really does not know what this means. Selectman Sendrowski would like to look at it a little more before the Board commits.

Town Administrator Pacheco noted that this RHC has allotted 120 hours a year for planning services, which comes out to approximately 10 hours a month. He further pointed out that if the town does not use those hours, they are not charged for it.

Selectman Allison asked Mr. Pacheco if he had any suggestions or recommendations regarding understanding this Agreement.

Town Administrator Pacheco recommended that the Selectmen can do the following:

- . Reach out to the lead community, which is the Town of Hudson;
- . Call the other communities in this Intermunicipal Agreement; and
- . Reach out to the Vendor, who works as a Housing Planner.

Victoria Petracca stated that she would like to give it some context regarding this matter, understanding that the folks serving on the Housing Trust Committee are going to need some sort of technical assistance. She further stated that Affordable Housing is a complex topic with a great deal of state laws about it as well as financing issues; in which technical assistance will be needed. She commented that this vendor is available to help, and these Towns have come together and pooled their resources to hire this vendor, which is cost effective.

Town Administrator Pacheco noted that the technical assistance will not just be for the Housing Trust, but they are a resource for the Planning Board and Zoning as well. He stated that the technical assistance will be for housing and planning services in general.

Chairman Moody asked that this item be tabled until the Selectmen's next meeting.

7. **Town Green Committee**

Chairman Moody would like to take a vote on creating a Town Green Committee, noting that Mr. John Farnsworth has asked to be considered to be on the Town Green Committee.

Town Administrator Pacheco asked for some guidance regarding placing banners on the Town Green. What the standard should be; should it be a 3'x10' banner, no longer than 30 days on the Town Green and 15' from the sidewalk. He noted that creating a committee may be a bit much.

Selectman Sendrowski stated that the Selectmen are not in the business to creating committees. The Town Administrator does a fine job in overseeing the Town Green.

Selectman Allison commented that he would like to see some kind of process be put in place, noting that an Ad Hoc Town Green Committee would review the process and give their input to the Selectmen in November and then let Town Administrator make the decision.

Town Administrator Pacheco noted that most banner applications are delegated to the Selectmen, except town sponsored events (i.e. Town Meeting and ADA).

Chairman Moody just would like to get the people involved.

Selectman Allison made the motion to form an Ad Hoc Town Green Committee for the purpose of analyzing the current process of signage on the Town Green and such committee will dissolve in the month November, 2020 and output of that committee will be put forth to the Board of Selectmen and Town Administrator for review. Chairman Moody Seconded. Jason A. Allison vote Aye, Jay M. Moody vote Aye and Walter F. Sendrowski vote No. [2-1-0] Motion passes.

8. Propose that no two Committees to meet at the same time and that all board and Committee and that all Board and Committee meetings be recorded and available on line and Sterling-Lancaster Community Television for public viewing and within a reasonable time.

Chairman Moody explained that the Board of Selectmen should be very involved in the finance of the Town. Currently, the Selectmen cannot attend the Finance Committee as it is at the same time

as the Board of Selectmen's meeting. He further noted that all meetings should be available on line and on cable television for public viewing.

Selectman Sendrowski noted that he would like to have all the meetings recorded, so anyone can watch them whenever. He further noted that the Board of Selectmen do not have the ability to tell other Boards how to operate.

Selectman Allison inquired about the post Covid open meeting regulation, and should investigate those regulations.

Town Administrator Pacheco noted that due to Covid, the Governor suspended certain provisions of the open meeting law, noting that virtual meetings must have real-time public access to the public, however does include recording the meetings.

Discussion on overlapping meetings, in which Town Administrator Pacheco noted that the Sterling-Lancaster Cable does recordings for the Town of Sterling as well, and are really only obligated to record the Board of Selectmen's meetings and the School Committee meetings.

Selectman Allison will explore what other communities are doing.

Chairman Moody asked that this be tabled and see if they come up with some ideas.

9. Discuss Annual Town Meeting Memorial School Article and set date to vote on 99 year lease.

Chairman Moody would like to discuss the Memorial School Article and if the Selectmen need to set a date to vote on the 99 year lease. Town Administrator Pacheco stated that the Selectmen are already authorized to do a lease. Mr. Pacheco stated there will need to be a Request for Proposal (RFP) in place.

Chairman Moody asked if they should reinstate the Reuse Memorial School Committee.

Selectman Allison stated that this is a very big project and asked if there is an appetite for the residents to start a Committee. Selectman Allison asked what Selectman Sendrowski's thoughts were on this matter.

Selectman Sendrowski stated that there needs to be a committee looking into this matter, but asked is there rush to do it.

Mr. Pacheco stated that they need to find a reuse for the Memorial School Building or remove the building. He further noted that there are complications with Article 97 conservation land around the building. He further stated that there is a need for a Committee, in which they could look into ways to have affordable housing there.

Chairman Moody would like to get some people together as a committee and see what happens and have the Reuse Committee develop a RFP for the building.

Historical Commission Chair, Heather Lennon gave some background regarding the Memorial School Building, which was to be repurposed for the Municipal Town Offices, and the Prescott Building was to be for the Historical Commission, with the understanding that there would be rental on another floor. However, she noted the town offices were moved over to the Prescott Building. She stated that the Memorial School Building should be torn down, which would be completely in line with Mrs. Thayer's Will; thus allowing a public town green and a recreational area in back of the campus.

Victoria Petracca had a concern on demolishing the building. The prior Reuse Committee looked into demolishing the building, which was investigated 5-6 years ago, with a benchmark price of \$500,000. She stated that she is not sure that is best path moving forward.

Mrs. Petracca stated that there is a senior housing shortage, with a waiting list at Bigelow Gardens. She further stated that there is an obligation to the seniors to treat them well and provide affordable housing; the Memorial School Building is adjacent to the Senior Center and would be great to bring the seniors into the heart of the community, where they would have access to programs, to people and access to a multigenerational community.

Chairman Moody asked Town Administrator Pacheco to reach out to the previous Reuse Committee to see if they would be interested starting the Committee back up.

VIII. APPOINTMENTS AND RESIGNATIONS

Appointments*

Housing Authority – (one seat open) term to expire May 10, 2021

- Barbara Foster, 9 Otis Street, Lancaster
- Richard Morais, 28 Bigelow Gardens, Lancaster

Selectman Sendrowski moved to appoint Richard Morais, a member to the Housing Authority, term to expire May 10, 2021. Chairman Moody Seconded. Jason A. Allison Abstains, Jay M. Moody vote Aye and Walter F. Sendrowski vote Aye. [2-0-1] Motion passes.

Reappointments

Housing Authority – Cynthia Strong, resident member, 11 Bigelow Gardens, term to expire June 30, 2021

Selectman Allison moved to reappoint Cynthia Strong as resident member, term to expire June 30, 2021. Selectman Sendrowski Seconded. Jason A. Allison vote Aye, Jay M. Moody vote Aye and Walter F. Sendrowski vote Aye. [3-0-0]

IX. LICENSES AND PERMITS - NONE

X. NEW BUSINESS *

**This item is included to acknowledge that there may be matters not reasonable anticipated by the Chair.*

XI. COMMUNICATIONS

- Town Offices will be closed on Monday, September 7, 2020 in observance of Labor Day.
- Board of Selectmen's next meeting will be held on Wednesday, September 9, 2020 at 6:00pm via ZOOM™

XII. ADJOURNMENT

Seeing no further business, on Motion by Selectman Sendrowski, seconded by Selectman Allison, it was unanimously voted. The Board of Selectmen adjourned at 8:07 P.M.

Respectfully submitted

Kathleen Rocco
Executive Assistant

TOWN OF LANCASTER, MASSACHUSETTS
OFFICE OF THE HISTORICAL COMMISSION (LHC)

Meeting Minutes of Lancaster Historical Commission
8-31-20

VIA ZOOM

Invite Link:

<https://us02web.zoom.us/j/89499993351>

Call to Order:

Chairperson Lennon called the meeting to order on Monday, August 31, 2020 at 7:00 pm. The meeting started late due to a problem with the ZOOM connection.

Present: Amy Brown, Liz Colley, Marcia Jakubowitz, Heather Lennon, Joy Peach, Joan Richards, Mark Schryver, Karen Silverthorn, and Jean Watson

Absent: None

Guest: Sharon Murphy Boski

The agenda items were discussed as follows:

1. **LHC Meeting Minutes:** Meeting minutes from 8-2-20 were approved as written unanimously on a motion made by Karen Silverthorn and seconded by Marcia Jakubowicz.
2. **Access to Prescott Building (PB) during COVID times:** Chairperson Lennon reported that the Town Administrator (TA), has given her written permission to be in the building in accordance with the Governor's regulations and safety standards. Access is from 9 am to 4 pm on Tuesdays. One other person may also be allowed in on those days.
3. **Town Green Committee (TGC):** Jay Moody, Chair of the Select Board (SB), has asked Heather Lennon to chair a temporary Town Green Committee. Plans are to meet with members via ZOOM to discuss guidelines and rules regarding signage on for the Town Green. The five member TGC will report to the SB by November 1, 2020. **Note:** It has recently been reported in the ITEM that future Netflix filming using the gazebo on the Town Green has been cancelled.
4. **Proposed Property Developments/Sales in Lancaster:**
 - A. **Perkins School (PS):** The PS has presented the Planning Board (PLB) with plans for a new dormitory, school building and addition to the Janeway Center. Also, a new driveway across the lawn the front of the "Manor House" is planned. The future use of White Hall, the dormitory to be vacated, is as yet undetermined. It could possibly be used for affordable housing.
 - B. **Hawthorn Hill Estate** – Special Permitting for 23 houses, brought forward through the engineering firm of Ducharme and Dillis has not yet been approved by the PLB.

It was asked if a Project Notification Form (PNF) had been submitted to the Massachusetts Historical Commission (MHC). The answer was “not yet”.

William Van Pelt IV and Marc Deere, partners from Mid-Continent Companies LTD of Houston, TX, are negotiating with the Bramananda Saraswati Foundation (BSF) to buy the 55 acre parcel which includes the mansion. Their plan would be to fully restore the house and gardens for use as a wedding venue. These potential buyers favor getting the estate nominated for National Register (NR) status. It is already “eligible” per a recent submission done by Heather Lennon and approved by MHC.

C. AUC’s White House AKA “Fairlawn” -- Chairperson Lennon reported that the new owner, Pastor Carl Behrmann of Goffstown, NH told her something of his plans for the four acre estate. He would like to restore the mansion and surrounding grounds to become a “Beacon of Light” in the community. He also would like to demolish the “Slice” (brown house) which was originally attached to the mansion. It is now located at the north corner East George Hill Road and Main Street. He envisions four units of housing to be developed there.

D. Thayer Conservatory of Music — There is current negotiation with the owners for a possible sale to Carol Linda Applebury who is interested in the building to be used as a day school for autistic children. According to Dr. Connie Drexler, the Music School (now leasing) would be allowed to continue, but the terms are unknown. The proposed sale is not yet complete.

6. Articles from Annual Town Meeting:

- A. **Scenic Road Bylaw** – This passed and has been submitted to the MA Attorney General’s office for approval.
- B. **Community Preservation Act (CPA)** – This passed and will be on the ballot in November for final approval.

7. Historic Cemeteries Initiative: Members of the Financial Committee (FinCom) are aware that funds are needed for tree removal which is an issue for the proper maintenance of our historic cemeteries.

8. Scout Project(s):

- A. Members of Lancaster Boy Scout Troop #1 under Scoutmaster John Aurin recently gathered to clear an old cart path along the north border of the Middle Cemetery. This pathway will be part of a proposed walking trail highlighting places of historical significance throughout the town. A photo of the Scouts in action providing a community service appeared in the ITEM. Hopefully, a sign will eventually be posted, near Route 70 and the trail, to identify the nearby site of Lancaster’s first two meetinghouses. Mary Zoll, of Regonini-Zoll in Clinton, has produced a mock-up of the sign which is estimated to cost about \$3,000. Funding sources have not yet been determined.

- B. Amy Brown is working to prepare a trail path/scavenger hunt for the Cub Scouts at the request of Cub Scout Leader Scott Granger. Details will be available soon.

- 9. **Renewal of Collections Agreement between the Lancaster Historical Society (LHS) the LHC** - Chairperson Lennon is preparing an update of the agreement (previously signed by past chair Michael Sczerzen) putting on permanent loan all item from the LHS to the LHC. This will be finalized at the next LHC meeting.

10. **Special Project Reports:**

- 1. **“Ballard Hill” sign** -- This sign, obscured by brush, will be relocated to a spot closer to Route 117 when the DPW can schedule the time. Bob Lidstone of the Lancaster Land Trust approves of this move.

- 2. **PB/ Town Green Signage** – Chairperson Lennon has recently reviewed and discussed proposed new signage with a contractor chosen by the town. The finished signs should improve directions for the general public.

11. **Accessions:**

- A. Rowlandson archeological dig relics from 1979 – donated by AUC through campus Administrator, Barbara Fuller.
- B. Genealogy book – donated by a descendant of Lancaster’s earliest settlers
- C. Three large file cabinets for the office -- donated through Linnea Lakin Servey

12. **Hosmer Project :**

Marcia Jakubowicz introduced Sharon Boski who has a degree from the University of Connecticut in Puppetry. She recently visited the PB to see the Hosmer Collection. LHS members approved her proposal for filming a 10-minute promotional film for use by the Northeastern Regional Puppetry of America group. They will film in the PB in September and give a copy to the LHC to use for promoting the Hosmer collection. Chairperson Lennon thanked Ms. Boski and will be in contact with her shortly for scheduling.

- 13. **Adjournment and Future Meeting Date:** The meeting adjourned at 7:40 pm. The LHC will meet next on Monday, September 28, 2020 at 6:30 pm. via ZOOM.

Respectfully submitted,

Joan Richards, Recorder for the Meeting

TOWN OF LANCASTER MASSACHUSETTS



WARRANT for the ANNUAL TOWN TOWN MEETING

For the Fiscal Year 2023

Mary Rowlandson Elementary School Auditorium
103 Hollywood Drive, Lancaster, Massachusetts

Beginning Monday, May 2, 2022 at 7:00 P.M.

ARTICLE 2
FY2023 Capital Expenditures
Finance Committee
Select Board

To see if the Town will raise and appropriate or transfer from available funds the following sums of money, to be expended by the respective Departments or Officers indicated, for the capital projects and purchases itemized and described; or act in any manner relating thereto.

a. **Thayer Memorial Library**

Amount:	\$75,000
Funds to be expended by:	Library Trustees
Purpose:	hire architect/engineer to assess building needs of Library
Funding Source:	Free Cash

b. **Conservation**

Amount:	\$25,000
Funds to be expended by:	Conservation Commission
Purpose:	make repairs to conservation land
Funding Source:	Free Cash

Select Board recommendation:

Finance Committee recommendation:

Summary: *Part a. The Thayer Memorial Library - The propose of this item is to fund an architectural/engineering study for improvements to provide a cost estimate to make repairs to the library including but not limited to the roof, windows, HVAC, carpet, etc. A detailed cost estimate to complete all needed repairs and other costs will be presented at the FY23 Annual Town Meeting for the voter's consideration.*

Part b. Conservation – These funds will be used to repair and maintain various Conservation Commission parcels in town.

Signed and sealed } W^m H. M^c Neil (seal)
 in the presence of } Commonwealth of Massachusetts, Suffolk, ss.
 Chas H. Bacall } Oct. 31, 1885. Then personally appeared the
 above named William H. M^c Neil, and acknowledged the foregoing instrument to be his free act and deed.

Before me, Chas H. Bacall, Justice of the Peace.
 Rec^d Jan 20th 1886 at 4th M. Ent. & Ex. By Wm B. Miller Reg^y

Smith David F. Know all men by these presents, that I, David F. Smith,
 to of Lancaster, in the County of Worcester, and Commonwealth
 Eben S. Fuller, &c of Massachusetts, in consideration of One dollar and other val-
 uable considerations paid by Eben S. Fuller, of Clinton, in
 the County of Worcester, and State aforesaid, and Sidney T.
 Fuller, of Boston, in the County of Suffolk, and State of Mass-
 achusetts, the receipt whereof is hereby acknowledged, do hereby
 give, grant, bargain, sell, and convey unto the said Eben
 S. Fuller and Sidney T. Fuller and their heirs and assigns for-
 ever, a certain parcel of land, with the buildings thereon, sit-
 uated in the centre of Lancaster, in the County of Worcester,
 upon the Easterly side of the road leading from said Lan-
 caster to Leominster, containing twenty three and one half
 acres, more or less, bounded and described as follows, viz:
 Beginning at a stone monument set in the ground on the
 Easterly side of the aforesaid road and a corner of the
 First Parish Lot, and running thence by said Parish Lot,
 South 82° 20' East, two hundred twenty eight and $\frac{1}{10}$ feet to
 a stone monument set in the ground, thence by said Parish
 Lot, South 8° 45' West one hundred fifty and $\frac{1}{100}$ feet to a
 bound, thence by the Memorial Hall Lot, South 80° East
 one hundred and $\frac{9}{100}$ feet to a bound, thence by said Me-
 morial Hall Lot, South 9° 56' West two hundred twenty four
 & $\frac{1}{10}$ feet to a bound, thence by estate of Joseph Whitney, South
 80° 15' East one hundred fifteen and $\frac{1}{100}$ feet to a bound.
 thence by estate of said Whitney, and estate of Nancy
 Carlton, South 16° 05' West, three hundred twenty eight and
 $\frac{2}{10}$ feet to a bound, thence North 75° 15' West by estate of
 said Nancy Carlton, forty two and $\frac{1}{10}$ feet to a bound, thence
 by estate of said Nancy Carlton, South 17° 15' West eleven
 and $\frac{22}{100}$ feet to a bound, a corner of land of Willard Rus-
 sell, thence by lands of said Willard Russell, Swedenborgian

Society and Frederic Davis, South $73^{\circ}50'$ East, eight hundred and twenty five feet to a bound, thence by land of Thomas Devin, North $23^{\circ}30'$ East, nine hundred ninety three and $\frac{1}{10}$ feet to the road leading from the Orthodox Church to the Neck Road, thence by said road, North $65^{\circ}30'$ West, three hundred ninety six and $\frac{9}{100}$ feet to a bound, thence by land of James M. Laughlin, South $19^{\circ}30'$ West, two hundred two and $\frac{65}{100}$ feet to a bound, thence by land of said M. Laughlin and land of James Borderick, North 68° West one hundred and ninety eight feet to a bound, thence by land of said Borderick, North $19^{\circ}30'$ East, one hundred ninety eight and $\frac{4}{10}$ feet to said road, to the Neck road, thence by said road, North $68^{\circ}45'$ West four hundred four and $\frac{95}{100}$ feet to a bound, thence South $18^{\circ}10'$ West two hundred twenty and $\frac{25}{100}$ feet to a bound, thence North 80° West, four hundred four and $\frac{9}{10}$ feet to a bound, the two last mentioned lines by road leading to the Hotel Lancaster, thence by the main road, South $9^{\circ}50'$ West, one hundred twenty and $\frac{15}{100}$ feet to first mentioned bound. Meaning and intending hereby to convey all my right, title and interest in the premises conveyed to grantor by Harriet Spring, by warranty deed, dated April 30th A.D. 1883, recorded with Worcester Deeds, Book 1145, Page 295. Subject to a mortgage of six thousand dollars given by David F. Smith to People's Savings Bank, of Worcester, dated May 5, 1883, recorded with Worcester Deeds, Book 1142, Page 566, which said mortgage grantees assume and agree to pay as a part of the consideration of this deed. To have and to hold the aforegranted premises, with the privileges and appurtenances thereto belonging, to the said Eben S. Fuller and Sidney J. Fuller, their heirs and assigns, to them and their use and behoof forever. And I, the said David F. Smith, for myself and my heirs, executors and administrators, do covenant with the said Eben S. Fuller and Sidney J. Fuller, their heirs and assigns, that I am lawfully seized in fee of the aforegranted premises, that they are free from all incumbrances, except the mortgage from David F. Smith to People's Savings Bank of Worcester, as aforesaid, that I have a good right to sell and convey the same to the said Eben S. Fuller and Sidney

T. Fuller, their heirs and assigns forever as aforesaid, and that I will and my heirs, executors, and administrators shall warrant and defend the same to the said Elm S. Fuller and Sidney T. Fuller, their heirs and assigns forever, against the lawful claims and demands of all persons.

In witness whereof, we, the said David F. Smith and Francine A. Smith, wife of the said David F. Smith, in token of her release of all right of or to both down and homestead in the granted premises, have hereunto set our hands and seals this Sixteenth day of January in the year of our Lord eighteen hundred and eighty six.

Signed, sealed, and delivered

in presence of us,

One printed word erased before signing.

S. R. Merrick to both signatures.

instrument to be his free act and deed.

David F. Smith (seal)

Francine A. Smith (seal)

Worcester, ss. January 16th 1886.

Then personally appeared the above named David F. Smith

and acknowledged the above

Before me, S. R. Merrick, Justice of the Peace.

Rec'd Jan. 20th 1886 at 4:15 P.M. Ent'd & Ex'd By Wm. R. Wilder Reg.

Rawson Simon, &c.
to
E. O. Bacon

Know all men by these presents, that we, Simon, Simon P., Charles F., and John M. Rawson, of Douglas, in the County of Worcester and Commonwealth of Massachusetts, in consideration of One hundred dollars paid us by E. O. Bacon of Wob. bridge, in said County, the receipt of which is hereby acknowledged, do hereby grant, bargain, sell and convey to the said E. O. Bacon, his heirs and assigns, one lot of land in the Prospect Hill Cemetery in said Wob. bridge, situated on Walnut Avenue, containing 336 superficial square feet, and numbered one hundred eighty six on the plan of said cemetery, which plan is in the hands of the proprietor of said cemetery, for inspection, by the said grantee, his heirs and assigns, at all reasonable times; the said lot containing three hundred and thirty six superficial square feet. To have and to hold the aforegranted premises unto the said E. O. Bacon, his heirs and assigns, to his and their use and behoof, forever, subject, however, to the conditions and limitations, and with the privileges following, to wit:—First, That the proprietor of said lot shall have the right to enclose the same, with a wall or fence, or hedge

are free from all incumbrances, that I have good right to sell and convey the same as aforesaid, and that I will and my heirs, executors and administrators shall warrant and defend the same to the grantee and her heirs and assigns forever against the lawful claims and demands of all persons. And for the consideration aforesaid, I Nellie F. Cook, wife of the grantor aforesaid, do hereby release unto the said grantee and his heirs and assigns all right otherwise and of or to both dower and homestead in the granted premises.

In witness whereof we the said Albert and Nellie F. Cook, his wife, hereunto set our hands and seals this sixteenth day of January in the year one thousand eight hundred and ninety two.

Signed, sealed and delivered

Albert Cook (seal)

Nellie F. Cook (seal)

in presence of

"otherwise and" inserted

before signing.

F. N. Thayer

Commonwealth of Massachusetts
Worcester ss. February 9th A.D. 1892. Then personally appeared the above named Albert Cook and acknowl-

edged the foregoing instrument to be his free act and deed.

Before me Francis N. Thayer Justice of the Peace.

Rec'd Feb 15th 1892 at 2:15 P.M. Ent'd 16th By Mary B. Miller Jy

Fuller, Eben S.

to

Sidney T. Fuller

Know all men by these presents that I Eben S. Fuller of Clinton, County of Worcester and Commonwealth of Massachusetts, in consideration of One dollar and other valuable considerations paid by Sidney T. Fuller of Kennebunk, County of York and State of Maine, the receipt whereof I do hereby give, grant, bargain, sell and convey unto the said Sidney T. Fuller his heirs and assigns forever, all my right, title and interest, being one undivided half of the property known as the Lancaster Hotel Property, situated in Lancaster Mass, being the same premises conveyed to the said Eben S. and Sidney T. Fuller by warranty deed of David F. Smith, dated Jan. 16, 1886 and recorded with Worcester County District Deeds, B. 1209, P. 308, to which deed, reference is made for a more particular description of said premises.

To have and to hold the same, with all the privileges and appurtenances thereof, to the said Sidney T. Fuller, heirs and assigns to their use and behoof forever. And I do covenant with the said grantee

his heirs and assigns, that I am lawfully seized in fee of the premises, that they are free of all incumbrances, except a mortgage of Six thousand dollars, held by Peoples Savings Bank of Worcester, that I have good right to sell and convey the same to the said grantee to hold as aforesaid, and that - and my heirs, will warrant and defend the same to the said grantee, his heirs and assigns forever against the lawful claims and demands of all persons.

In witness whereof I Eben S. Fuller, the said grantor, and Adelaide, wife of the said Eben S. Fuller in testimony of her relinquishment of her right of dower in the above described premises, have hereunto set our hands and seals, this first day of February in the year of our Lord one thousand eight hundred and ninety-two.

Signed, sealed and delivered: Eben S. Fuller (seal)

in presence of Adelaide Fuller (seal)

S. P. Merrick to E. S. F. (Worcester, Clinton Feb. 12, 1892 Person
Batie Smith to A. F.) ally appeared E. S. Fuller and acknowledged the above instrument to be his free act and deed. Before me S. P. Merrick, Justice of the Peace.

Feb. 13th 1892 at 2:15 P.M. in Court of said City *Mary S. Miller*

Sibley Caroline Lorc Know all men by these presents that I Caroline L. Sibley of Oakham, in the County of Worcester and
to Mary A. Lincoln State of Massachusetts, in consideration of Five Hundred and Fifty dollars paid by Mary A. Lincoln of Warren in said County, the receipt whereof is hereby acknowledged do hereby give, grant, bargain, sell and convey unto the said Mary A. Lincoln; A certain tract of land situate in the Easterly part of Barre in said County, near the road leading from Coldbrook to Barre and known as the old road, containing about forty acres of land and being same premises described in deed from Sylvester Bothwell as sheriff to Henry Pierce by deed recorded in Book 1334, Page 558, Worcester District Registry of Deeds, and same conveyed to me by S. S. Taft by deed dated January 15th A.D. 1892, and recorded in said Registry of Deeds, and same premises willed to me by my husband, Henry B. Sibley by will duly probated and to which will the deed, should or any deeds necessary to get a full and

Signed, sealed, and delivered } People's Savings Bank. (seal)
 in presence of } By Saml. R. Heywood, President
 Fred W. White } Commonwealth of Massachusetts.

Worcester, ss. November 16, 1892. Then personally appeared the above named Samuel R. Heywood and acknowledged the foregoing instrument to be the free act and deed of the People's Savings Bank,

Before me, Fred W. White, Justice of the Peace.
 Rec'd Nov. 26th 1892, at 2¹⁵ P.M. Int. & Ex. By Murray B. Miller, Jy

Fuller Sidney T. Know all men by these presents, that O. Sidney Thomas
 to Fuller, of Kennebunk, County of York, State of Maine, in consid-
 Lancaster Inhab^{ts} eration of One dollar and other valuable considerations paid
 by The Inhabitants of the Town of Lancaster, in the County of
 Worcester and Commonwealth of Massachusetts, the receipt whereof
 is hereby acknowledged, do hereby give, grant, bargain, sell,
 and convey unto the said Inhabitants of the Town of Lancaster,
 A certain tract of land situate near the centre of said
 Town, and adjoining the Library Lot, so called, the tract of
 land hereby conveyed being bounded and described as follows,
 to wit: Beginning at a stone bound at the northeasterly corner
 of said Library Lot, at the northwesterly corner of the lot here-
 by conveyed, running thence South $79^{\circ}34'$ East, in a line con-
 tinuous with the northerly line of said Library Lot, two hun-
 dred eighty one (281) feet, by land of grantor, to a point at
 the centre of the brook, said point being half way between
 two stone bounds set in the ground on either side of said
 brook; thence South $14^{\circ}25'$ West, five hundred seventy nine
 $\frac{3}{10}$ (579.3) feet, to a point in centre of said brook, said
 point being one half way between two stone bounds set
 in the ground, on either side of said brook; thence last course,
 being by land of grantor, thence North $73^{\circ}33'$ West, three
 hundred three and $\frac{4}{10}$ (303.4) feet, to a stone bound; thence
 North $17^{\circ}53'$ East, eleven and $\frac{2}{10}$ (11.2) feet to a stone
 bound; thence South $74^{\circ}06'$ East, forty two $\frac{7}{10}$ (42.7) feet to
 a stone bound; thence North $16^{\circ}33'$ East three hundred
 twenty seven $\frac{5}{100}$ (327.85) feet, by land of Kyes and
 Whitney, to a stone bound; thence North $79^{\circ}46'$ West, one
 hundred five and $\frac{63}{100}$ (105.63) feet by land of one Whitney,
 to a stone bound at the Library Lot aforesaid; thence by
 said Library Lot, North $10^{\circ}00'$ East two hundred twenty four

$\frac{8}{100}$ (224.08) feet to the place of beginning. The said tract hereby conveyed containing two acres (2) and twenty seven thirds and five hundred fifty five and $\frac{8}{10}$ (2755.8) square feet, more or less, and being a part of the estate formerly conveyed to Eben S. and Sidney T. Fuller, by deed of David F. Smith, dated January 16, A.D. 1886, and recorded with Worcester District Registry of Deeds, at Worcester, in said County of Worcester.

To have and to hold the granted premises, with all the privileges and appurtenances thereto belonging to the said Inhabitants of the Town of Lancaster and their successors and assigns, to their own use and behoof forever. And I do hereby, for myself, and my heirs, executors and administrators, covenant with the grantees and their successors and assigns that I am lawfully seized in fee simple of the granted premises, that they are free from all incumbrances; that I have good right to sell and convey the same as aforesaid, and that I will, and my heirs, executors, and administrators shall warrant and defend the same to the grantees and their successors and assigns forever against the lawful claims and demands of all persons. And for the consideration aforesaid, I, Annette E. R. Fuller, wife of said Sidney Thomas Fuller, hereby release unto the grantees and their successors and assigns all right of or to both dower and homestead in the granted premises.

In witness whereof, we, the said Sidney Thomas Fuller and the said his wife, hereunto set our hands and seals this Fourteenth day of November in the year one thousand eight hundred and ninety two.

Signed, sealed, and delivered } Sidney Thomas Fuller (seal)
Annette E. R. Fuller (seal)

in presence of } Commonwealth of Massachusetts,
S. R. Merrick } Worcester, ss. Lancaster, Nov. 14, 1892.

W. A. Kilbourn } Then personally appeared the above named Sidney Thomas Fuller and acknowledged the foregoing instrument to be his free act and deed,

Before me, S. R. Merrick, Justice of the Peace.
Rec'd Nov. 26th 1892, at 2:13 P.M. Court of Probate
Moses B. Miller Jy

Tibbette H. F., Jr.
to
Horace Laisant

Commonwealth of Massachusetts. I hereby certify that the following is a just and true account, with just credits given, of the amount due me for labor

APPENDIX 9. DEED INFORMATION³¹

631

RET D AS
 RETURN
 SUB
 PUT

F. W. Blackmer to M. J. S. } Commonwealth of Massachu-
 setts. Worcester ss. December 7, 1898. Then personally appeared the
 above named Mary J. Stowell and acknowledged the foregoing
 instrument to be her free act and deed.

Before me, F. W. Blackmer, Justice of the Peace
 Dec. 7th 1898 at 3:10 P.M. Ent. & Ex. By Lizzie A. Barker Asst. Reg.

Fuller Sidney J.

to
 Esther A. Dore

{ Stamp
 \$10.00
 Cancelled }

I know all men by these presents, that I, Sidney J. Fuller, of Kennebunk, County of York and State of Maine, in consideration of One Dollar and other valuable considerations to me paid by Esther A. Dore and Frank L. Dore both of Boston, County of Suffolk and Commonwealth of Massachusetts, the receipt whereof is hereby acknowledged, do hereby give, grant, bargain, sell and convey unto the said Esther A. Dore and Frank L. Dore their heirs and assigns forever, a certain parcel of land, with the buildings thereon, situated in the center of Lancaster, in the County of Worcester and Commonwealth aforesaid, upon the Easterly side of the road leading from Lancaster to Legminister, containing 20 acres more or less, bounded and described as follows, viz: Beginning at a stone monument set in the ground on the Easterly side of the aforesaid road and a corner of the First Parish Lot, and running thence by said Parish Lot, S. 82° 20' E. two hundred twenty-eight and 10 feet to a stone monument set in the ground, thence by said Parish Lot S. 8° 45' W. one hundred fifty and 100 feet to a bound, thence by Memorial Hall lot S. 80° E. one hundred and 95 feet to a bound, thence S. 79° 34' E. in a line continuous with the last mentioned bound two hundred eighty-one feet by land of Lancaster Inhabitants to a point at the center of a brook, said point being half way between two stone bounds set in the ground on either side of said brook; thence S. 14° 25' W. five hundred seventy-nine and 10 feet to a point in the center of said brook, said point being half way between two stone bounds set in the ground on either side of said brook, the last course being by land of Lancaster Inhabitants; thence by land now or late of Willard Russell, Swendenborgian Society and Frederick Davis S. 73° 50' E. six hundred twenty-one and 10 feet to a bound; thence by land now or late of Thomas Derrin N. 23° 30' E. nine hundred ninety-three and 10 feet to a road leading from the Cithodox Church to Neck road; thence by said road N. 65° 30' W.

three hundred ninety-six and $\frac{93}{100}$ feet to a bound; thence by land now or late of James McLaughlin S. $19^{\circ}30'$ W. two hundred two and $\frac{65}{100}$ feet to a bound; thence by land of said McLaughlin and James Broderick N. 68° W. one hundred ninety-eight feet to a bound; thence N. $19^{\circ}30'$ E. one hundred ninety-eight and $\frac{4}{100}$ feet to said road to Neck road; thence by said road N. $68^{\circ}45'$ W. four hundred and four and $\frac{75}{100}$ feet to a bound; thence S. $18^{\circ}10'$ W. two hundred twenty and $\frac{25}{100}$ feet to a bound; thence N. 85° W. four hundred four and $\frac{9}{100}$ feet to a bound; the two last mentioned lines being by road leading to Hotel Lancaster; thence by the main road S. $9^{\circ}50'$ W. one hundred twenty and $\frac{15}{100}$ feet to first mentioned bound. The above described premises are hereby conveyed subject to a mortgage to the People's Savings Bank for \$6,000 upon which there remains unpaid \$4,000. Being the same premises described in a deed from David F. Smith to Eben S. Fuller and Sidney T. Fuller, dated January 16, 1886, and recorded in Worcester County Registry of Deeds, book 1209 page 308, and a deed of one undivided half to me, dated February 1, 1892, and recorded in said Worcester Registry of Deeds, book 1372 page 402 except about two and one half acres sold to Lancaster Inhabitants by my deed dated November 14, 1892 and recorded in said Worcester County Registry of Deeds, book 1393 page 651,* to which deeds and the record thereof, further reference is hereby given.

*Should be 650

To have and to hold the granted premises, with all the privileges and appurtenances thereto belonging, to the said Esther A. Dore and Frank L. Dore and their heirs and assigns, to their own use and behoof forever. And I do hereby, for myself and my heirs, executors and administrators, covenant with the said grantees and their heirs and assigns that I am lawfully seized in fee simple of the granted premises, and that they are free from all incumbrances except as aforesaid; that I have good right to sell and convey the same as aforesaid; and that I will and my heirs, executors and administrators shall warrant and defend the same to the said grantees and their heirs and assigns forever against the lawful claims and demands of all persons except as aforesaid. And for consideration aforesaid I, Annette E. W. Fuller, wife of said Sidney T. Fuller, do hereby release unto the said grantees and their heirs and assigns all right of or to both dower and homestead in the granted premises.

In witness whereof, we, the

said Sidney T. Fuller and Annette E. R. Fuller hereunto set our hands and seals this seventh day of December in the year one thousand eight hundred ninety-eight.

Signed, sealed and delivered } Sidney T. Fuller (seal)
in the presence of } Annette E. R. Fuller (seal)
Walter R. Dame ... } Commonwealth of Massachusetts.

Worcester ss. December 7th 1898. Then personally appeared the above named Sidney T. Fuller and acknowledged the foregoing instrument to be his free act and deed.

Before me, Walter R. Dame, Justice of the Peace
Rec'd Dec. 7th 1898 at 3-20 P.M. Ent. & Ex. By Lizzie A. Barker Asst. Reg.

Liscomb Nathl. S.

to

Daniel M. Waterman & c.

{ Stamp
\$2.00
Cancelled }

Know all men by these presents, that I, Nathaniel S. Liscomb of Worcester, in the County of Worcester and Commonwealth of Massachusetts, in consideration of One Dollar and other sufficient consideration paid by Daniel M. Waterman and Harold D. Waterman of said City and County of Worcester the receipt whereof is hereby acknowledged, do hereby give, grant, bargain, sell and convey unto the said Daniel M. Waterman and Harold D. Waterman, a certain tract of land in said City and County of Worcester, and being Lot No. 111 on a plan of lots named "Merrifield Building Sites owned by N. S. Liscomb," recorded with Worcester District Deeds, June 6th 1896, more particularly described as follows: Beginning at a point on the Easterly line of Agricultural street twenty-nine and seven-tenths (29.7) feet from the intersection of Agricultural street and Park Avenue thence Southerly by the Easterly line of Agricultural street sixty (60) feet to land of N. S. Liscomb; thence Easterly by the Wotherly line of said Liscomb's land one hundred (100) feet to Lot 106 on said plan; thence Wotherly sixty (60) feet by the Westerly line of Lots 106 + 107 on said plan to Lot 111; thence Westerly by the Southerly line of Lot 111 to the point of beginning. Containing six thousand (6000) square feet of land. No building known as a three decker or containing more than two families shall be built on this lot, and no stable to accommodate more than four horses.

To have and to hold the granted premises with all the privileges and appurtenances thereto belonging, to the said Daniel M. Waterman and Harold D. Waterman and their heirs and assigns, to their own use and behoof forever. And I do hereby, for myself and my heirs, executors and administrators cov-

10. LETTERS OF SUPPORT

John A. Farnsworth, M.S.C.E.
dba **Farnsworth Engineering Associates** (*since 1986*)
Professional Land Surveyor, Registered Sanitarian
(*Registrations in Massachusetts & Connecticut*)
35 Pine Hill Road, Lancaster, MA 01523
603-566-4317 (*cell-phone*), jf111b@aol.com

7 December 2022

Joseph Mule', Director
Thayer Memorial Library
Thayer Memorial Drive
717 Main Street
Lancaster, MA 01523
(978) 368-8928 Ext-3

Library Historic Wing Casement Windows Restoration Project

To Whom It May Concern:

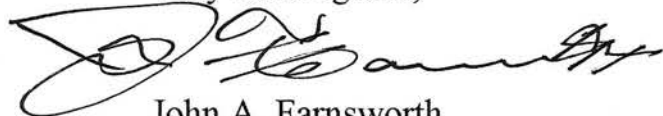
Herein, I write to express my support for the restoration of the casement windows in the Library's historic wing.

Given that the instant application is for but two-windows, keeping our Library weathertight should be a priority and hope this good work will continue.

My earliest recollection of the Library was nearly seventy-years ago. We are simply stewards and entrusted with the responsibility of seeing these beautiful structures pass to future generations.

To that end, enclosed please find a modest check in the amount of \$200 to continue this restoration process.

Very best regards,

A handwritten signature in black ink, appearing to read 'John A. Farnsworth', with a stylized flourish at the end.

John A. Farnsworth

10. LETTERS OF SUPPORT

December 7, 2022

Town of Lancaster Community Preservation Act Committee

My name is Marcia Jakubowicz, and I am writing in support of the Thayer Memorial Library's goal of preserving and/or restoring the windows in the Children's wing of the Library. The Library is an historic and vital part of the community in critical need of this renovation for the safety of the collection housed in the Children's Wing.

Having worked in and enjoyed the collection and services provided with my children, I have noticed the need to fix or replace the beautiful windows in the wing. They used to be open in the Spring and Fall making the room very pleasant and comfortable for reading and completing homework. The wing was also a place for puppet shows, sing-a-longs and story time (before the new wing) and was enjoyed by many in town. The windows have not been opened much because of the condition of the frames and curved glass of these windows.

I hope that with the money that could be provided by the CPA Committee that the windows can all be fixed and the historic beauty of the Children's Wing can be brought back for future generations of the town.

Thank you

A handwritten signature in cursive script that reads "Marcia Jakubowicz". The signature is written in dark ink and is positioned to the right of the printed name.

Sincerely

Marcia Jakubowicz

10. LETTERS OF SUPPORT



First Church of Lancaster, Unitarian Universalist
A welcoming community of spirit and service since 1653

725 Main Street, Lancaster MA 01523

Town of Lancaster Historical Preservation Committee

Re: Application of Thayer Memorial Library for Grant Funds

Dec. 8, 2022

Gentlemen/Ladies,

My name is George Frantz, and I have lived in Lancaster for over 30 years. I am an active member of the First Church of Lancaster and have been involved in various Town government activities for some time.

I am writing to support the Thayer Memorial Library's application for CPSW funds. The proposed use is to complete the renovation of the casement windows in the Library's historic wing.

I have worked with the lead architect, Lynne Spencer, on the renovation of the First Church bell tower and the construction of Hawkins Hall (community hall), and there is no one more qualified to lead this work. The proposed renovation will protect the historic Library and the several important collections that it houses.

The time for this repair and renovation is pressing. In the original architects' report, the work was proposed to begin two years ago, but a lack of funding caused them to postpone. With every passing month, the condition of the windows deteriorates further, meaning even without catastrophic failure, the renovation cost goes higher.

I respectfully urge you to fund this excellent project in the coming grant season.

Sincerely,

George C. Frantz

13 Highfield Drive

Lancaster MA 01523