

RECEIVED

JUL 26 2021

COMMUNITY DEVELOPMENT
AND PLANNING

McGOVERN BOULEVARD

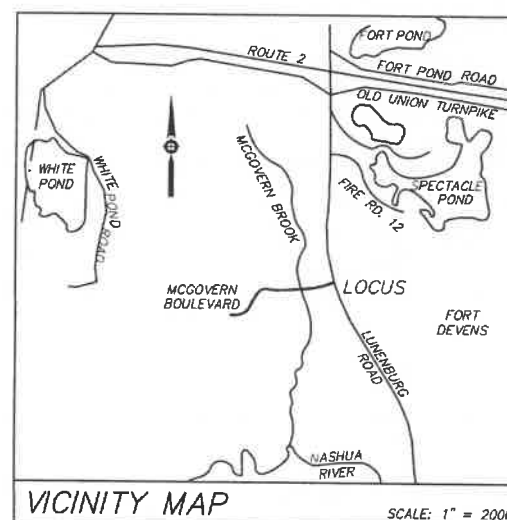
PHASE II: ROADWAY CONSTRUCTION

IN

LANCASTER, MASSACHUSETTS

MARCH 26, 2021

REVISIONS THROUGH JULY 22, 2021



OWNER:

702, LLC
 259 TURNPIKE ROAD, SUITE 100
 SOUTHBOROUGH, MASSACHUSETTS 01772

APPLICANT:

NORTH LANCASTER, LLC
 STEVE BOUCHER
 435 LANCASTER STREET
 LEOMINSTER, MASSACHUSETTS 01453

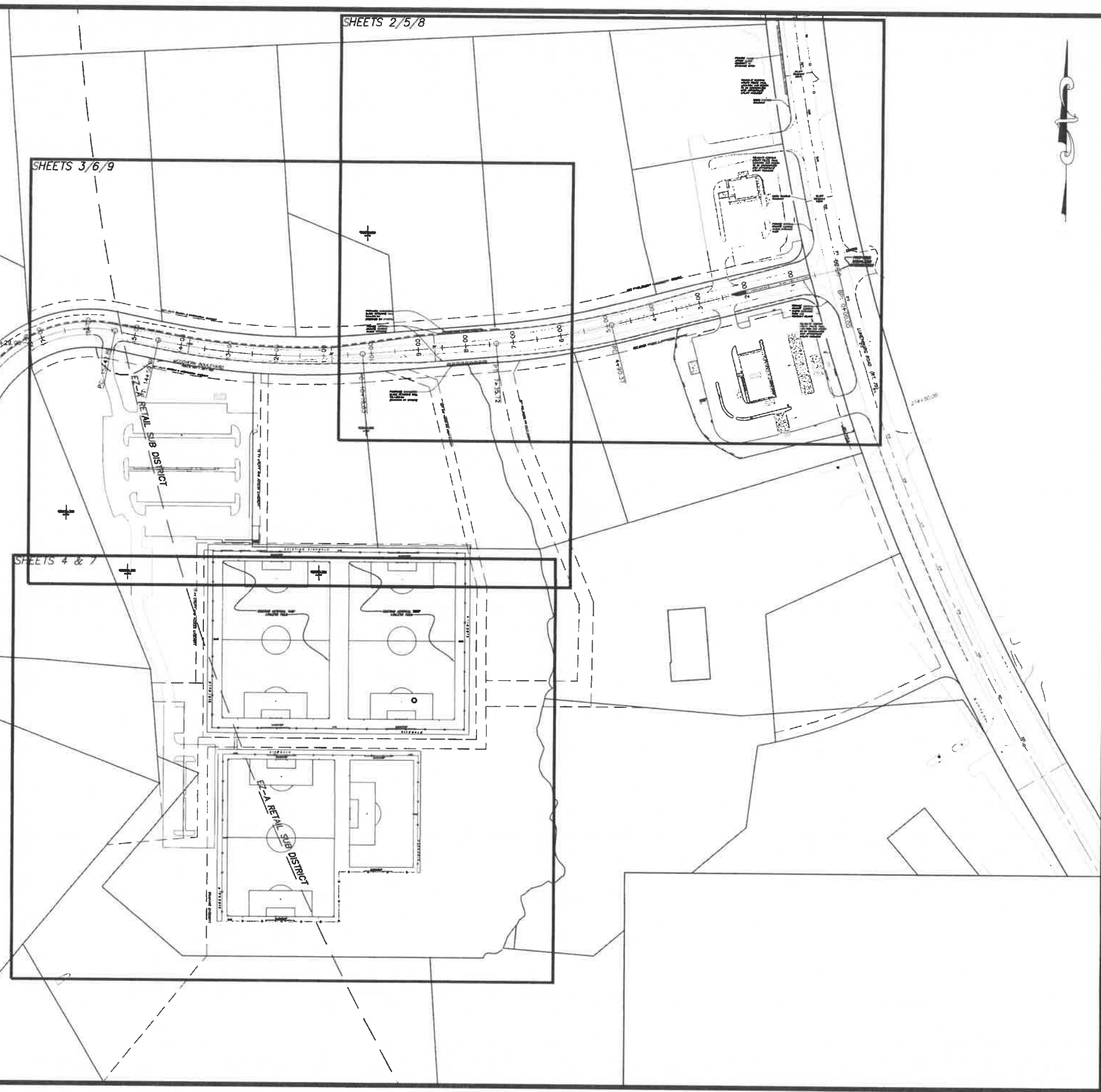
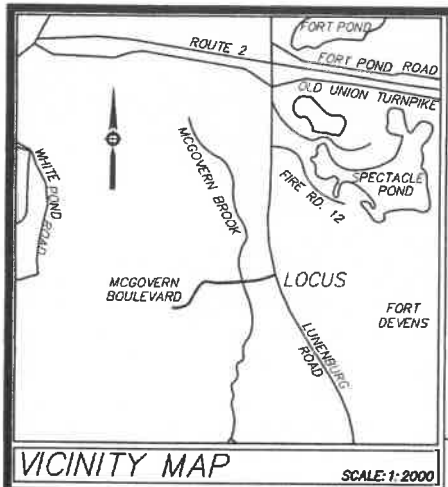
CIVIL ENGINEER & LAND SURVEYOR:

HANNIGAN ENGINEERING, INC.
 8 MONUMENT SQUARE
 LEOMINSTER, MASSACHUSETTS 01453
 TEL: (978) 534-1234

PLAN INDEX

SHEET 1	INDEX PLAN
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PERMITTING SET - NOT FOR CONSTRUCTION



PROJECT INFORMATION

LAND INFORMATION
 MAP/PARCEL: 14/A/D
 DEED BOOK/PAGE: 52227/354

ZONING INFORMATION
 ZONING DISTRICT: ENTERPRISE DISTRICT *
 *R2-D OVERLAY DISTRICT
 *E2-A RETAIL SUB DISTRICT

DIMENSIONAL REQUIREMENTS:
 MINIMUM AREA: 84,000 SF
 MINIMUM FRONTAGE: 225 FEET
 MINIMUM SETBACKS:
 FRONT YARD: 40 FT**
 SIDE YARD: 30 FT
 REAR YARD: 30 FT
 **100FT WHEN ABUTTING A RESIDENTIAL DISTRICT

- GENERAL NOTES:**
1. PROPERTY LINE INFORMATION BASED ON AN ON-THE-GROUND SURVEY BY HANNIGAN ENGINEERING, INC. IN JULY OF 2013. TOPOGRAPHIC INFORMATION IS THE RESULT OF AN AERIAL TOPOGRAPHIC SURVEY PERFORMED BY MINUTEMAN MAPPING IN OCTOBER OF 2009 NAVD83 DATUM. ADDITIONAL FIELD SURVEY HAS BEEN PERFORMED TO VERIFY AND ADJUST TOPOGRAPHIC FEATURES AS NEEDED BY THIS OFFICE THROUGH NOVEMBER OF 2020.
 2. AREAS SUBJECT TO PROTECTION UNDER THE WETLANDS PROTECTION ACT HAVE BEEN DELINEATED BY GODDARD CONSULTING, LLC IN OCTOBER OF 2020. THESE AREAS ARE DEPICTED ON THE PLANS BASED ON FIELD SURVEY LOCATION DURING THE TOPOGRAPHIC SURVEY.
 3. LOCATION OF ALL UTILITIES ARE APPROXIMATE AS SHOWN AND BASED UPON VISIBLE STRUCTURES AT THE TIME OF THE FIELD SURVEY. LOCATION OF EXISTING UTILITIES AND SUBSURFACE STRUCTURES, WHETHER OR NOT SHOWN ON THESE PLANS, SHALL BE DETERMINED BY THE CONTRACTOR, MARKED IN THE FIELD, AND REVIEWED BY THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE AWARE OF THE OBLIGATION TO ALL UTILITY COMPANIES AND AGENCY AS WELL AS DIS-SAFE PRIOR TO EXCAVATION. (SEE NOTES)
 4. NOTIFICATION REQUIREMENTS SHOWN ON THIS PLAN SHALL NOT RELIEVE THE CONTRACTOR OF ANY OTHER REQUIREMENTS WHICH MAY EXIST UNDER LOCAL, STATE, OR FEDERAL JURISDICTION TO WHICH THE CONTRACTOR IS OBLIGATED.
 5. RELOCATION OF AND/OR CONNECTION TO EXISTING UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY.
 6. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH THE REQUIREMENTS OF HIGHWAYS AND BRIDGES.
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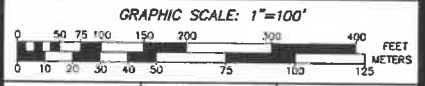
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HANNIGAN ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

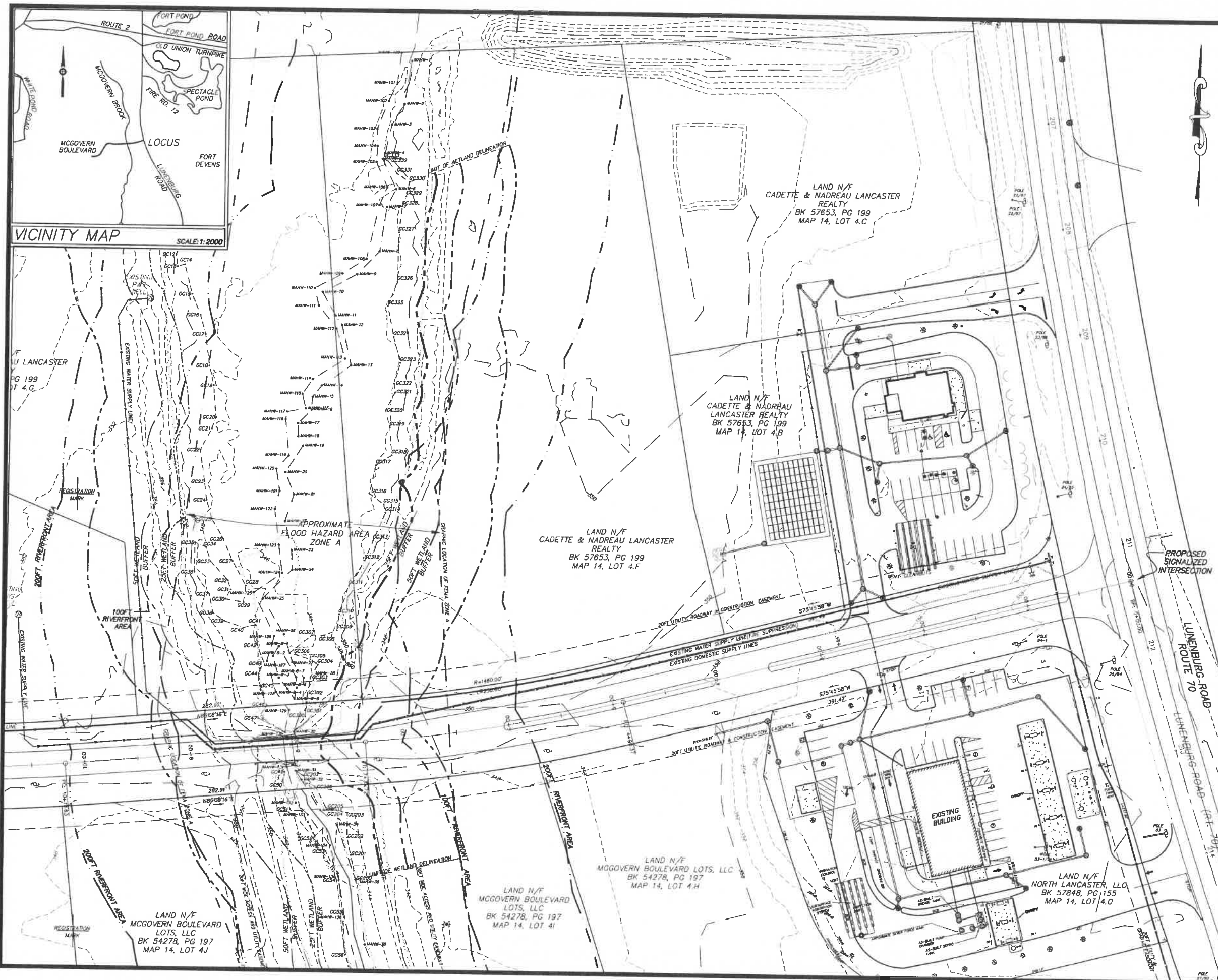
8 MONUMENT SQUARE (978) 534-1234 (T)
 LEOMINSTER, MASSACHUSETTS 01453 (978) 534-0060 (F)
 WWW.HANNIGANENGINEERING.COM

SITE INDEX PLAN
 IN
LANCASTER, MASSACHUSETTS

PREPARED FOR:
 NORTH LANCASTER, LLC
 STEVE BOUCHER
 435 LANCASTER STREET
 LEOMINSTER, MASSACHUSETTS 01453
 TEL: 978-534-0816



CALC: CMA/WDH	DRWN: CMA/WDH	SCALE: 1"=100'
CHKD: WDH	APPD: WDH	DATE: MAR 26, 2021
SRV: JEF	FB: FILES	JOB NO: 2226
TAB: (1)INDEX	SHEET 1 OF 15	PLAN NO: C-11-1



VICINITY MAP SCALE: 1:2000

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LAND INFORMATION
 MAP/PARCEL: 14/AD
 DEED BOOK/PAGE: 52227/354

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 "000 OVERLAY DISTRICT
 "E2-A RETAIL SUB DISTRICT

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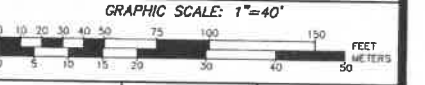


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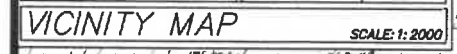
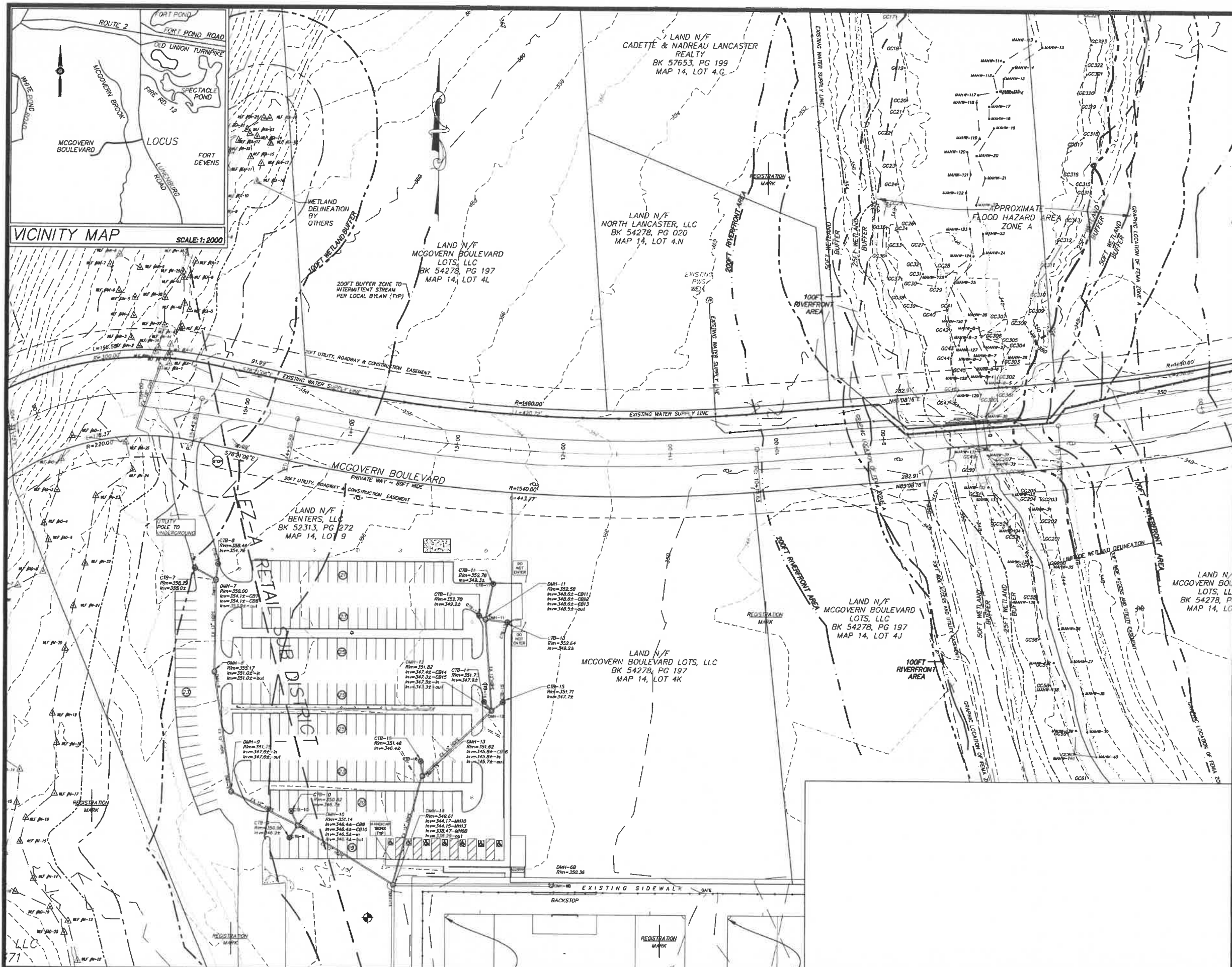
8 MONUMENT SQUARE
 LEOMINSTER, MASSACHUSETTS 01453 (978) 534-1234 (T)
 (978) 534-6060 (F)

EXISTING CONDITIONS PLAN IN LANCASTER, MASSACHUSETTS

PREPARED FOR:
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 435 LANCASTER STREET
 LEOMINSTER, MASSACHUSETTS 01453
 TEL: 978-534-0816



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TAB: (2) EXCOND	SHEET 2 OF 15	PLAN NO: C-11-1



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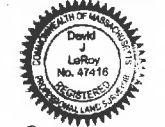
LAND INFORMATION
 MAP/PARCEL: 14/A/D
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ZONING INFORMATION
 ZONING DISTRICT: ENTERPRISE DISTRICT *
 WOOD OVERLAY DISTRICT
 *E2-A RETAIL SUB DISTRICT

DIMENSIONAL REQUIREMENTS:
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 MINIMUM FRONTAGE: 225 FEET
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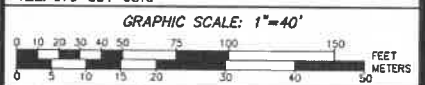
David J. LaRoy 7-22-21

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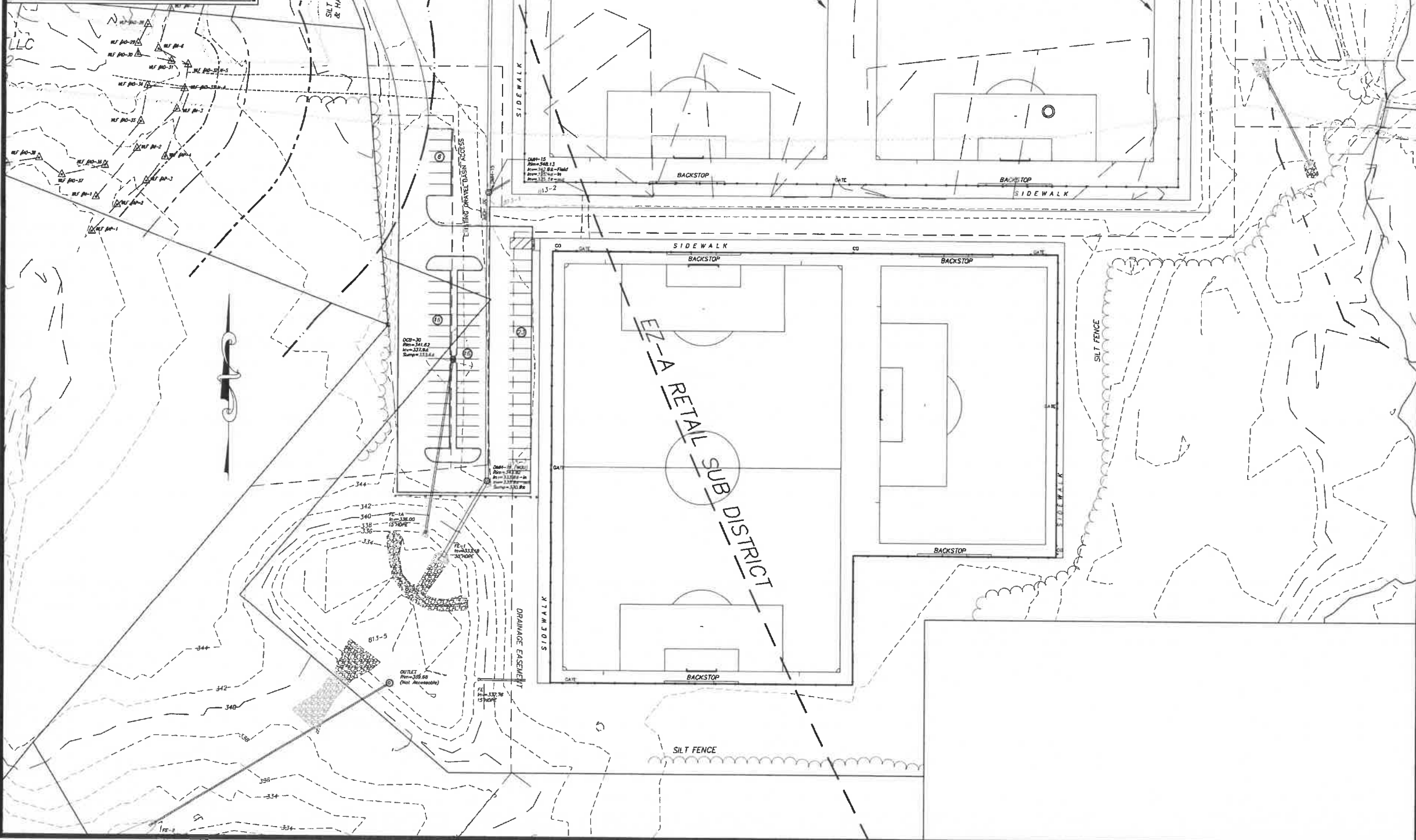
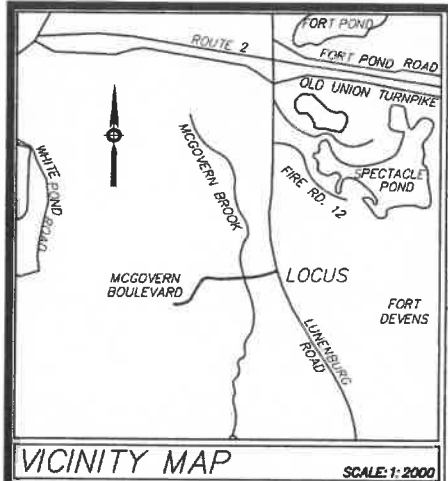
8 MONUMENT SQUARE (978) 534-1234 (T)
 LEOMINSTER, MASSACHUSETTS 01453 (978) 534-6060 (F)
 WWW.HANNIGANENGINEERING.COM

EXISTING CONDITIONS PLAN IN LANCASTER, MASSACHUSETTS

PREPARED FOR:
 NORTH LANCASTER, LLC
 STEVE BOUCHER
 435 LANCASTER STREET
 LEOMINSTER, MASSACHUSETTS 01453
 TEL: 978-534-0816



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TAB: (3) EXCOND	SHEET 3 OF 15	PLAN NO: C-11-1



PROJECT INFORMATION

LAND INFORMATION
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 17. FIRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 18. ALL UTILITIES ARE TO BE INSTALLED BY A LICENSED UTILITY CONTRACTOR LICENSED BY THE TOWN OF LANCASTER.

NO.	DATE	PEER REVIEW COMMENTS	CMA/WDH
1	7/22/2021	PEER REVIEW COMMENTS	CMA/WDH
		REVISIONS	BY



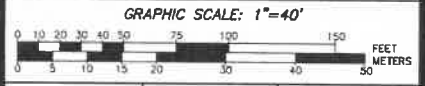
David J. LeRoy 7-22-21

HANNIGAN ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

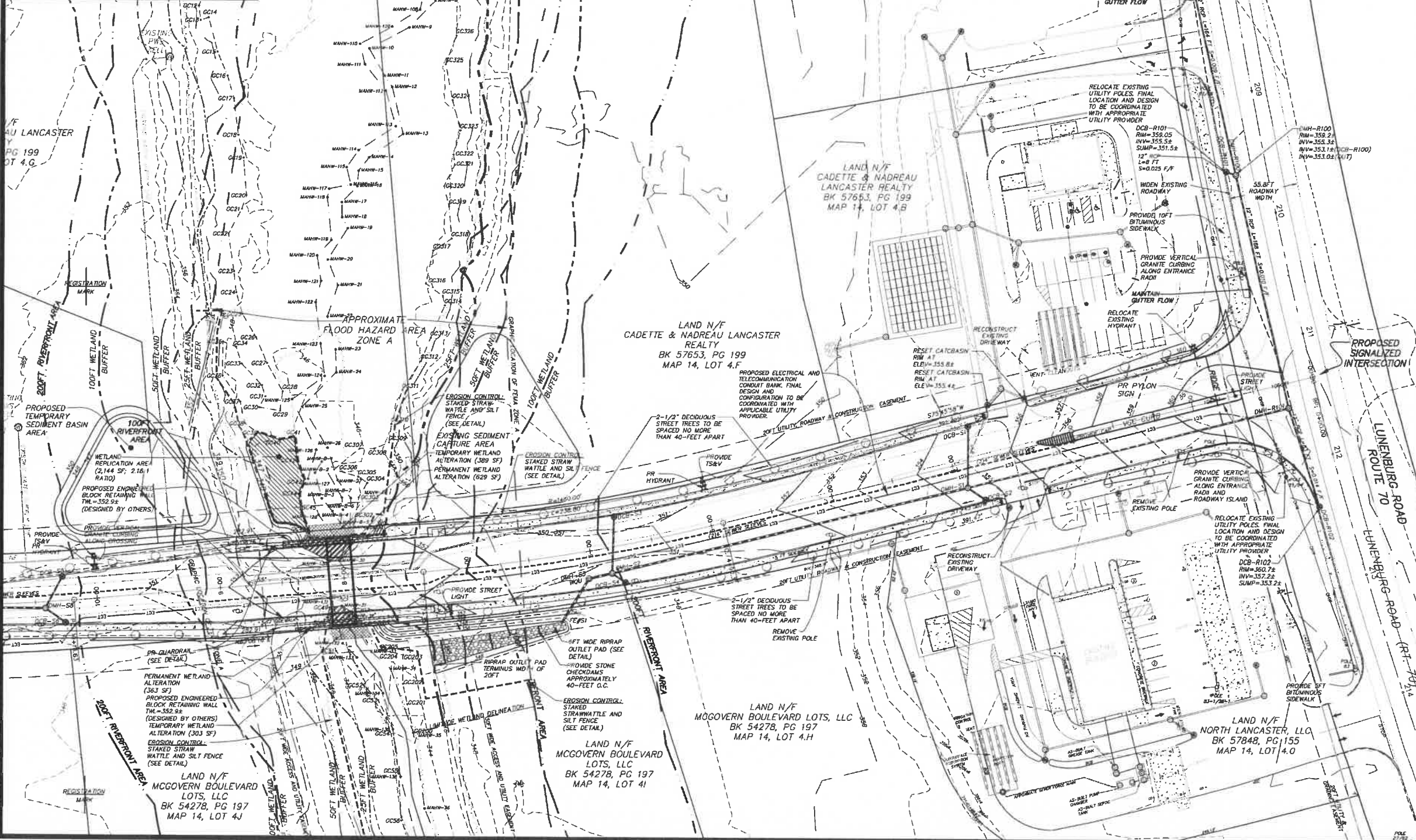
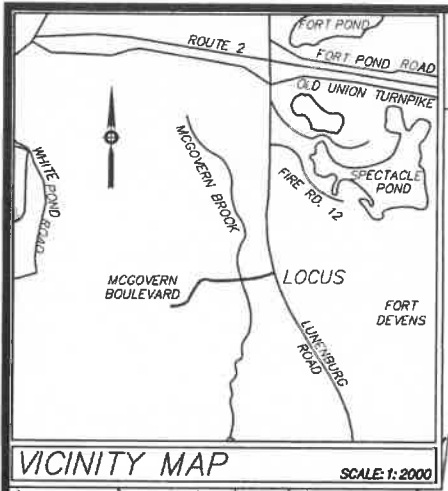
8 MONUMENT SQUARE
 LEONMINSTER, MASSACHUSETTS 01453 (978) 534-1234 (T)
 (978) 534-0060 (F)
 WWW.HANNIGANENGINEERING.COM

EXISTING CONDITIONS PLAN
 IN
LANCASTER, MASSACHUSETTS

PREPARED FOR:
 NORTH LANCASTER, LLC
 STEVE BOUCHER
 435 LANCASTER STREET
 LEONMINSTER, MASSACHUSETTS 01453
 TEL: 978-534-0816



CALC: CMA/WDH	DRWN: CMA/WDH	SCALE: 1"=40'
CHKD: WDH	APPD: WDH	DATE: MAR 26, 2021
SRV: JEF	FB: FILES	JOB NO: 2226
TAB: (4) EXCOND	SHEET 4 OF 15	PLAN NO: C-11-1



PROJECT INFORMATION

LAND INFORMATION
 MAP/PARCEL: 14/4.D
 DEED BOOK/PAGE: 52227/354

ZONING INFORMATION
 ZONING DISTRICT: ENTERPRISE DISTRICT *
 **E2-OVERLAY DISTRICT
 **E2-A RETAIL SUB DISTRICT

DIMENSIONAL REQUIREMENTS:
 MINIMUM AREA: 64,000 SF
 MINIMUM FRONTAGE: 225 FEET
 MINIMUM SETBACKS:
 FRONT YARD: 40 FT**
 SIDE YARD: 30 FT
 REAR YARD: 30 FT
 **400FT WHEN ADJUTING A RESIDENTIAL DISTRICT

- GENERAL NOTES:**
1. PROPERTY LINE INFORMATION BASED ON AN ON-THE-GROUND SURVEY BY HANNIGAN ENGINEERING, INC. IN JULY OF 2013. TOPOGRAPHIC INFORMATION IS THE RESULT OF AN AERIAL TOPOGRAPHIC SURVEY PERFORMED BY MINUTEMAN MAPPING IN OCTOBER OF 2009 NAD83 DATUM. ADDITIONAL FIELD SURVEY HAS BEEN PERFORMED TO VERIFY AND ADJUST TOPOGRAPHIC FEATURES AS NEEDED BY THIS OFFICE THROUGH NOVEMBER OF 2020.
 2. AREAS SUBJECT TO PROTECTION UNDER THE WETLANDS PROTECTION ACT HAVE BEEN DELINEATED BY GODDARD CONSULTING, LLC IN OCTOBER OF 2020. THESE AREAS ARE DEPICTED ON THE PLANS BASED ON FIELD SURVEY LOCATION DURING THE TOPOGRAPHIC SURVEY.
 3. LOCATION OF ALL UTILITIES ARE APPROXIMATE AS SHOWN AND BASED UPON VISIBLE STRUCTURES AT THE TIME OF THE FIELD SURVEY. LOCATION OF EXISTING UTILITIES AND SUBSURFACE STRUCTURES, WHETHER OR NOT SHOWN ON THESE PLANS, SHALL BE DETERMINED BY THE CONTRACTOR, MARKED IN THE FIELD, AND REVIEWED BY THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE AWARE OF THE OBLIGATION TO ALL UTILITY COMPANIES AND AGENCY AS WELL AS OIG-SAFE PRIOR TO EXCAVATION (SEE NOTE).
 4. NOTIFICATION REQUIREMENTS SHOWN ON THIS PLAN SHALL NOT RELIEVE THE CONTRACTOR OF ANY OTHER REQUIREMENTS WHICH MAY EXIST UNDER LOCAL, STATE, OR FEDERAL JURISDICTION TO WHICH THE CONTRACTOR IS OBLIGATED.
 5. RELOCATION OF AND/OR CONNECTION TO EXISTING UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY.
 6. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH THE REQUIREMENTS OF THE TOWN OF LANCASTER AND THE MASS DOT SPECIFICATIONS OF HIGHWAYS AND BRIDGES.
 7. ALL SLOPES UNLESS OTHERWISE SPECIFIED, SHALL BE LOANED AND SEEDED FOR STABILIZATION.
 8. ANY DEVIATIONS IN DESIGN AS SHOWN SHALL REQUIRE A REVIEW AND APPROVAL OF THE DESIGN ENGINEER OR FIRM. CHANGES MADE IN THE FIELD MADE WITHOUT AUTHORIZATION SHALL BE SUBJECT TO REVIEW BY THE ENGINEER AND APPROPRIATE APPROVING AUTHORITY. EXPENSES INCURRED TO BRING THE UNAUTHORIZED CHANGES TO ACCEPTABLE PERFORMANCE SHALL BE BORNE BY THE COMPANY OR CONTRACTOR MAKING THE UNAUTHORIZED CHANGE.
 9. ANY MATERIALS DISCOVERED ON-SITE WHICH ARE NOT SUITABLE FOR USE IN THE PROJECT AS SHOWN ON THIS PLAN SHALL BE REMOVED AND HAULED OFF-SITE TO AN APPROPRIATELY LICENSED FACILITY.
 10. PLANS TO BE REVIEWED BY APPLICABLE UTILITY AGENCIES FOR COMPLIANCE WITH REGULATIONS. FINAL LOCATION IS SUBJECT TO CHANGE. APPLICANT SHOULD BE AWARE OF OBLIGATIONS TO COMPLY WITH CHAPTER 131, SECTION 40 OF THE MASSACHUSETTS GENERAL LAWS, OTHERWISE KNOWN AS THE WETLANDS PROTECTION ACT, AND THE ASSOCIATED REGULATIONS (10A CMR 10.00).
 11. STOCKPILING OF MATERIAL SHALL NOT BE PERMITTED WITHIN ANY AREAS SUBJECT TO PROTECTION UNDER THE WETLANDS PROTECTION ACT WITHOUT PRIOR APPROVAL BY THE LOCAL CONSERVATION COMMISSION. STOCKPILES SHALL BE PLACED IN A SUITABLE LOCATION AND SURROUNDED BY A ROW OF STAKED HAY BALES FOR EROSION CONTROL.
 12. AREAS OF FILL TO BE COMPACTED TO A MINIMUM 95% DRY DENSITY IN AREAS WITHIN ROADWAYS AND UTILITY EASEMENTS. OTHER AREAS OF FILL TO BE COMPACTED TO A MINIMUM 90% DRY DENSITY. ALL FILL MATERIALS ARE TO BE CLEAN FILL, FREE OF DELETERIOUS MATERIALS AND DEBRIS.
 13. ALL SIDEWALKS AND RAMPS TO CONFORM TO REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA), AS REQUIRED. SEE ARCHITECTURAL PLANS FOR PERFORMANCE REQUIREMENTS FOR PROPOSED BUILDINGS.
 14. THE AREA PROPOSED FOR DEVELOPMENT IS WITHIN A 100 YEAR FLOOD PLAIN PER F.E.M.A. FIRM PANEL #25027-C0286, DATED: JULY 4, 2011. COMPLIANCE WITH APPLICABLE REGULATIONS IS REQUIRED.
 15. ALL REINFORCED CONCRETE PIPE TO BE CLASS II UNLESS OTHERWISE NOTED.
 16. PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 17. ALL UTILITIES ARE TO BE INSTALLED BY A LICENSED UTILITY CONTRACTOR LICENSED BY THE TOWN OF LANCASTER.

NO.	DATE	PEER REVIEW COMMENTS	CMA/WH
1	7/22/2021	REVISIONS	BY

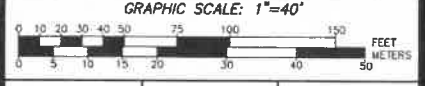


HANNIGAN ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

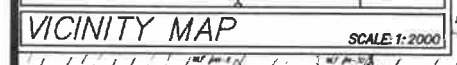
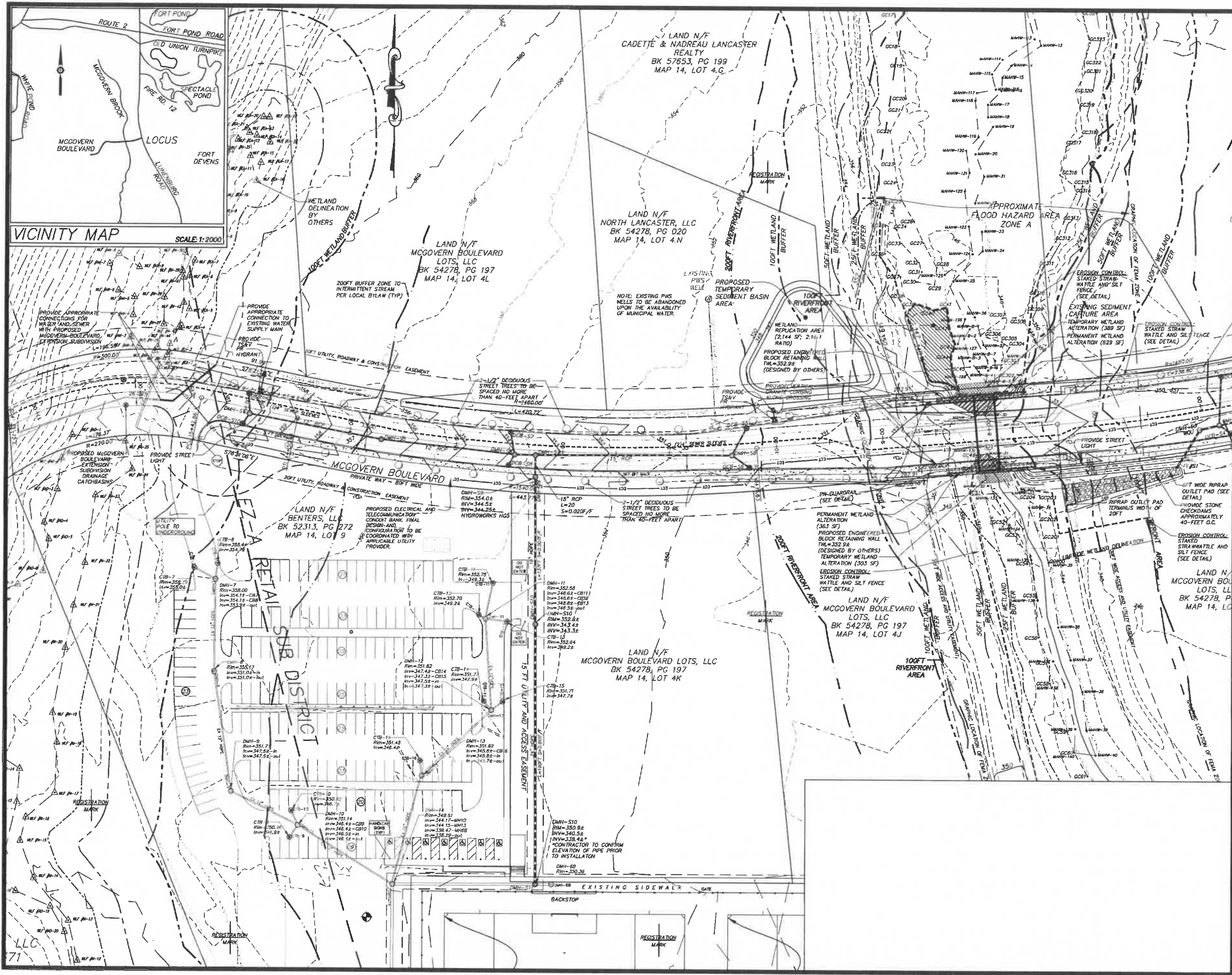
8 MONUMENT SQUARE
 LEOMINSTER, MASSACHUSETTS 01453 (978) 534-1234 (T)
 (978) 534-0060 (F)
 WWW.HANNIGANENGINEERING.COM

SITE DEVELOPMENT PLAN
 IN
LANCASTER, MASSACHUSETTS

PREPARED FOR:
 NORTH LANCASTER, LLC
 STEVE BOUCHER
 435 LANCASTER STREET
 LEOMINSTER, MASSACHUSETTS 01453
 TEL: 978-534-0816



CALC: CMA/WH	DRWN: CMA/WH	SCALE: 1"=40'
CHKD: WOH	APPD: WOH	DATE: MAR 26, 2021
SRV: JEF	FB: FILES	JOB NO: 2226
TAB: (5) SDP	SHEET 5 OF 15	PLAN NO: C-11-1



PROJECT INFORMATION

LAND INFORMATION
MAP/PARCEL: 14/A/D
DEED BOOK/PAGE: 5222/354

ZONING INFORMATION
ZONING DISTRICT: ENTERPRISE DISTRICT
"E2-A RETAIL SUB DISTRICT"

DIMENSIONAL REQUIREMENTS:
MINIMUM AREA: 64,000 SF
MINIMUM FRONTAGE: 225 FEET
MINIMUM SETBACKS:
FRONT YARD: 40 FT**
SIDE YARD: 30 FT
REAR YARD: 30 FT
**100FT WHEN ABUTTING A RESIDENTIAL DISTRICT

- GENERAL NOTES:**
- PROPERTY LINE INFORMATION BASED ON AN ON-THE-GROUND SURVEY BY HANNIGAN ENGINEERING, INC. IN JULY OF 2013. TOPOGRAPHIC INFORMATION IS THE RESULT OF AN AERIAL TOPOGRAPHIC SURVEY PERFORMED BY MINUTEAM MAPPING IN OCTOBER OF 2009 WAD88 DATUM. ADDITIONAL FIELD SURVEY HAS BEEN PERFORMED TO VERIFY AND ADJUST TOPOGRAPHIC FEATURES AS NEEDED BY THIS OFFICE THROUGH NOVEMBER OF 2020.
 - AREAS SUBJECT TO PROTECTION UNDER THE WETLANDS PROTECTION ACT HAVE BEEN DELINEATED BY GODDARD CONSULTING, LLC IN OCTOBER OF 2020. THESE AREAS ARE DEPICTED ON THE PLANS BASED ON FIELD SURVEY LOCATION DURING THE TOPOGRAPHIC SURVEY.
 - LOCATION OF ALL UTILITIES ARE APPROXIMATE AS SHOWN AND BASED UPON VISIBLE STRUCTURES AT THE TIME OF THE FIELD SURVEY. LOCATION OF EXISTING UTILITIES AND SUBSURFACE STRUCTURES, WHETHER OR NOT SHOWN ON THESE PLANS, SHALL BE DETERMINED BY THE CONTRACTOR, MARKED IN THE FIELD, AND REVIEWED BY THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE AWARE OF THE OBLIGATION TO ALL UTILITY COMPANIES AND AGENCY AS WELL AS DIG-SAFE PRIOR TO EXCAVATION (SEE NOTE.)
 - NOTIFICATION REQUIREMENTS SHOWN ON THIS PLAN SHALL NOT RELIEVE THE CONTRACTOR OF ANY OTHER REQUIREMENTS WHICH MAY EXIST UNDER LOCAL, STATE, OR FEDERAL JURISDICTION TO WHICH THE CONTRACTOR IS OBLIGATED.
 - RELOCATION OF AND/OR CONNECTION TO EXISTING UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY.
 - UNLESS OTHERWISE SPECIFIED, ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH THE REQUIREMENTS OF THE TOWN OF LANCASTER AND THE MASS DOT SPECIFICATIONS OF HIGHWAYS AND BRIDGES.
 - ALL SLOPES UNLESS OTHERWISE SPECIFIED, SHALL BE LOADED AND SEEDED FOR STABILIZATION.
 - ANY DEVIATIONS IN DESIGN AS SHOWN SHALL REQUIRE A REVIEW AND APPROVAL OF THE DESIGN ENGINEER OR FIRM. CHANGES MADE IN THE FIELD MADE WITHOUT AUTHORIZATION SHALL BE SUBJECT TO REVIEW BY THE ENGINEER AND APPROPRIATE APPROVING AUTHORITY. EXPENSES INCURRED TO BRING THE UNAUTHORIZED CHANGES TO ACCEPTABLE CONFORMANCE SHALL BE BORNE BY THE COMPANY OR CONTRACTOR MAKING THE UNAUTHORIZED CHANGE.
 - ANY MATERIALS DISCOVERED ON-SITE WHICH ARE NOT SUITABLE FOR USE IN THE PROJECT AS SHOWN ON THIS PLAN SHALL BE REMOVED AND HAULED OFF-SITE TO AN APPROPRIATELY LICENSED FACILITY.
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 - STOCKPILING OF MATERIAL SHALL NOT BE PERMITTED WITHIN ANY AREAS SUBJECT TO PROTECTION UNDER THE WETLANDS PROTECTION ACT WITHOUT PRIOR APPROVAL BY THE LOCAL CONSERVATION COMMISSION. STOCKPILES SHALL BE PLACED IN A SUITABLE LOCATION AND SURROUNDED BY A ROW OF STAKED HAY BALES FOR EROSION CONTROL.
 - AREAS OF FILL TO BE COMPACTED TO A MINIMUM 95% DRY DENSITY IN ALL SIDEWALKS AND UTILITY EASEMENTS. OTHER AREAS OF FILL TO BE COMPACTED TO A MINIMUM 90% DRY DENSITY. ALL FILL MATERIALS ARE TO BE CLEAN FILL, FREE OF DELETERIOUS MATERIALS AND DEBRIS.
 - ALL SIDEWALKS AND RAMP TO CONFORM TO REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA), AS REQUIRED. SEE ARCHITECTURAL PLANS FOR PERFORMANCE REQUIREMENTS FOR PROPOSED BUILDINGS.
 - THE AREA PROPOSED FOR DEVELOPMENT IS WITHIN A 100 YEAR FLOOD PLAIN PER F.E.M.A. FIRM PANEL 22027-C028B, DATED: JULY 4, 2011. COMPLIANCE WITH APPLICABLE REGULATIONS IS REQUIRED.
 - ALL REINFORCED CONCRETE PIPE TO BE CLASS III UNLESS OTHERWISE NOTED.
 - PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - ALL UTILITIES ARE TO BE INSTALLED BY A LICENSED UTILITY CONTRACTOR LICENSED BY THE TOWN OF LANCASTER.

NO.	DATE	PEER REVIEW COMMENTS	CMA/WDH
1	7/22/2021	PEER REVIEW COMMENTS	CMA/WDH
		REVISIONS	BY

7-22-21

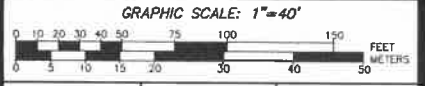
HANNIGAN ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS

8 MONUMENT SQUARE (978) 534-1234 (T)
LEOMINSTER, MASSACHUSETTS 01453 (978) 534-6080 (F)

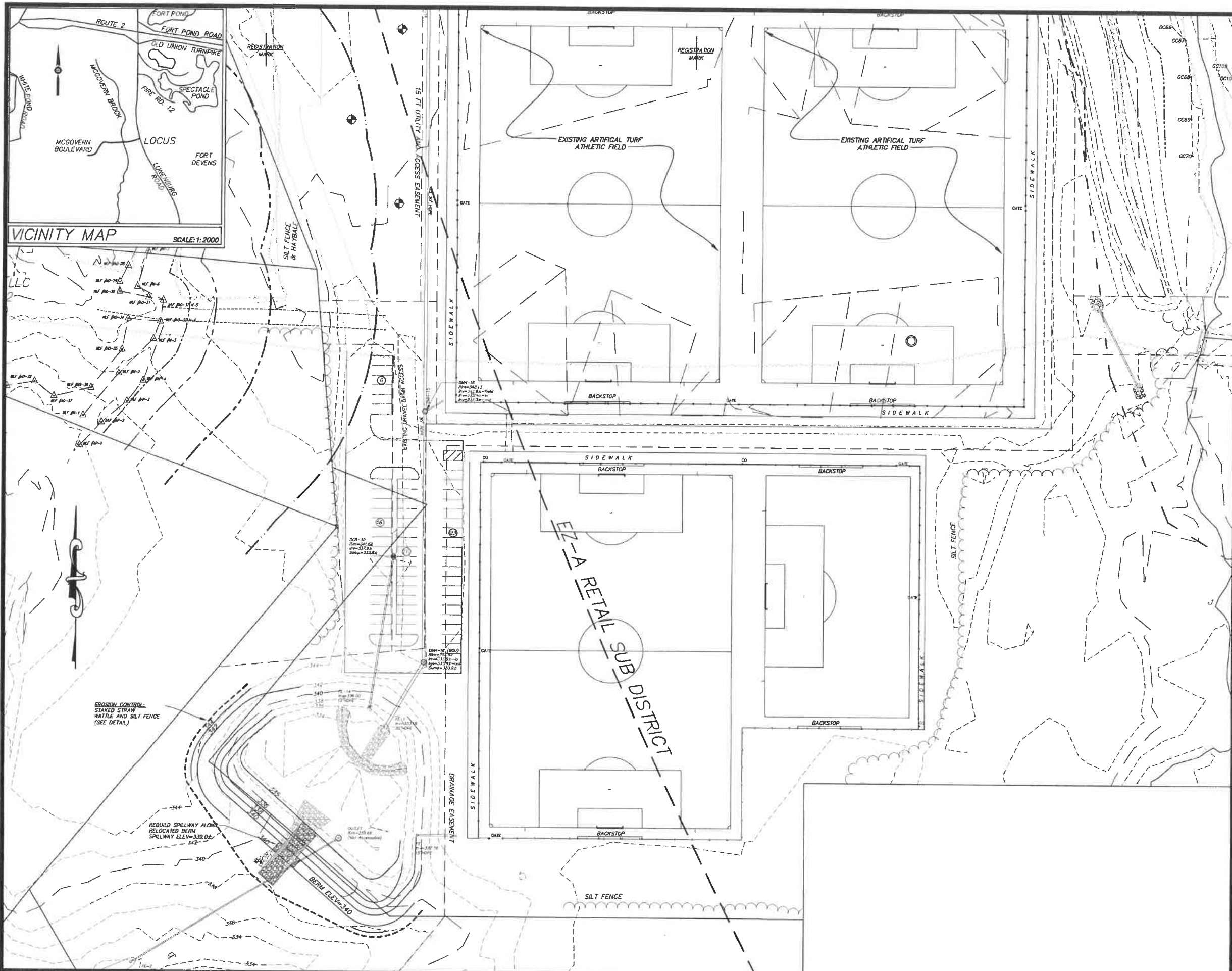
WWW.HANNIGANENGINEERING.COM

SITE DEVELOPMENT PLAN
IN
LANCASTER, MASSACHUSETTS

PREPARED FOR:
NORTH LANCASTER, LLC
STEVE BOUCHER
435 LANCASTER STREET
LEOMINSTER, MASSACHUSETTS 01453
TEL: 978-534-0816



CALC: CMA/WDH	DRWN: CMA/WDH	SCALE: 1"=40'
CHKD: WDH	APPD: WDH	DATE: MAR 26, 2021
SRV: JEF	FB: FILES	JOB NO: 2226
TAB: (6) SDP	SHEET 6 OF 15	PLAN NO: C-11-1



PROJECT INFORMATION

LAND INFORMATION
 MAP/PARCEL: 14/4.0
 DEED BOOK/PAGE: 52227/354

ZONING INFORMATION
 ZONING DISTRICT: ENTERPRISE DISTRICT +
 WPOD OVERLAY DISTRICT
 *EZ-A RETAIL SUB DISTRICT

DIMENSIONAL REQUIREMENTS:
 MINIMUM AREA: 64,000 SF
 MINIMUM FRONTAGE: 225 FEET
 MINIMUM SETBACKS:
 FRONT YARD: 40 FT**
 SIDE YARD: 30 FT
 REAR YARD: 30 FT
 **40 FT WHEN ADJUTING A RESIDENTIAL DISTRICT

- GENERAL NOTES:**
1. PROPERTY LINE INFORMATION BASED ON AN ON-THE-GROUND SURVEY BY HANNIGAN ENGINEERING, INC. IN JULY OF 2013. TOPOGRAPHIC INFORMATION IS THE RESULT OF AN AERIAL TOPOGRAPHIC SURVEY PERFORMED BY MINUTEMAN MAPPING IN OCTOBER OF 2009 NAVD83 DATUM. ADDITIONAL FIELD SURVEY HAS BEEN PERFORMED TO VERIFY AND ADJUST TOPOGRAPHIC FEATURES AS NEEDED BY THIS OFFICE THROUGH NOVEMBER OF 2020.
 2. AREAS SUBJECT TO PROTECTION UNDER THE WETLANDS PROTECTION ACT HAVE BEEN DELINEATED BY GOODARD CONSULTING, LLC IN OCTOBER OF 2020. THESE AREAS ARE DEPICTED ON THE PLANS BASED ON FIELD SURVEY LOCATION DURING THE TOPOGRAPHIC SURVEY.
 3. LOCATION OF ALL UTILITIES ARE APPROXIMATE AS SHOWN AND BASED UPON USABLE STRUCTURES AT THE TIME OF THE FIELD SURVEY. LOCATION OF EXISTING UTILITIES AND SUBSURFACE STRUCTURES, WHETHER OR NOT SHOWN ON THESE PLANS, SHALL BE DETERMINED BY THE CONTRACTOR, MARKED IN THE FIELD, AND REVIEWED BY THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE AWARE OF THE OBLIGATION TO ALL UTILITY COMPANIES AND AGENCY AS WELL AS DIG-SAFE PRIOR TO EXCAVATION. (SEE NOTE)
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 12. STOCKPILING OF MATERIAL SHALL NOT BE PERMITTED WITHIN ANY AREAS SUBJECT TO PROTECTION UNDER THE WETLANDS PROTECTION ACT WITHOUT PRIOR APPROVAL BY THE LOCAL CONSERVATION COMMISSION. STOCKPILES SHALL BE PLACED IN A SUITABLE LOCATION AND SURROUNDED BY A ROW OF STAKED HAY BALES FOR EROSION CONTROL.
 13. AREAS OF FILL TO BE COMPACTED TO A MINIMUM 95% DRY DENSITY IN AREAS WITHIN ROADWAYS AND UTILITY EASEMENTS. OTHER AREAS OF FILL TO BE COMPACTED TO A MINIMUM 90% DRY DENSITY. ALL FILL MATERIALS ARE TO BE CLEAN FILL, FREE OF DELETERIOUS MATERIALS AND DEBRIS.
 14. ALL SIDEWALKS AND RAMPS TO CONFORM TO REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS REQUIRED. SEE ARCHITECTURAL PLANS FOR CONFORMANCE REQUIREMENTS FOR PROPOSED BUILDINGS.
 15. THE AREA PROPOSED FOR DEVELOPMENT IS WITHIN A 100 YEAR FLOOD PLAIN PER F.E.M.A. FIRM PANEL #25027-C0288B, DATED: JULY 4, 2011. COMPLIANCE WITH APPLICABLE REGULATIONS IS REQUIRED.
 16. ALL REINFORCED CONCRETE PIPE TO BE CLASS III UNLESS OTHERWISE NOTED.
 17. PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 18. ALL UTILITIES ARE TO BE INSTALLED BY A LICENSED UTILITY CONTRACTOR LICENSED BY THE TOWN OF LANCASTER.

NO.	DATE	PEER REVIEW COMMENTS	CMA/WDH
1	7/22/2021	PEER REVIEW COMMENTS	CMA/WDH
		REVISIONS	BY



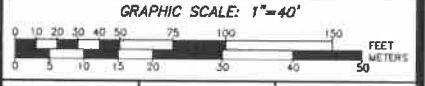
HANNIGAN ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

8 MONUMENT SQUARE (978) 534-1234 (F)
 LEOMINSTER, MASSACHUSETTS 01453 (978) 534-6080 (F)

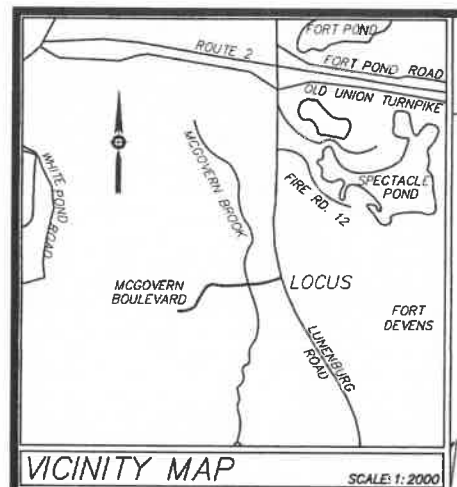
WWW.HANNIGANENGINEERING.COM

SITE DEVELOPMENT PLAN
 IN
LANCASTER, MASSACHUSETTS

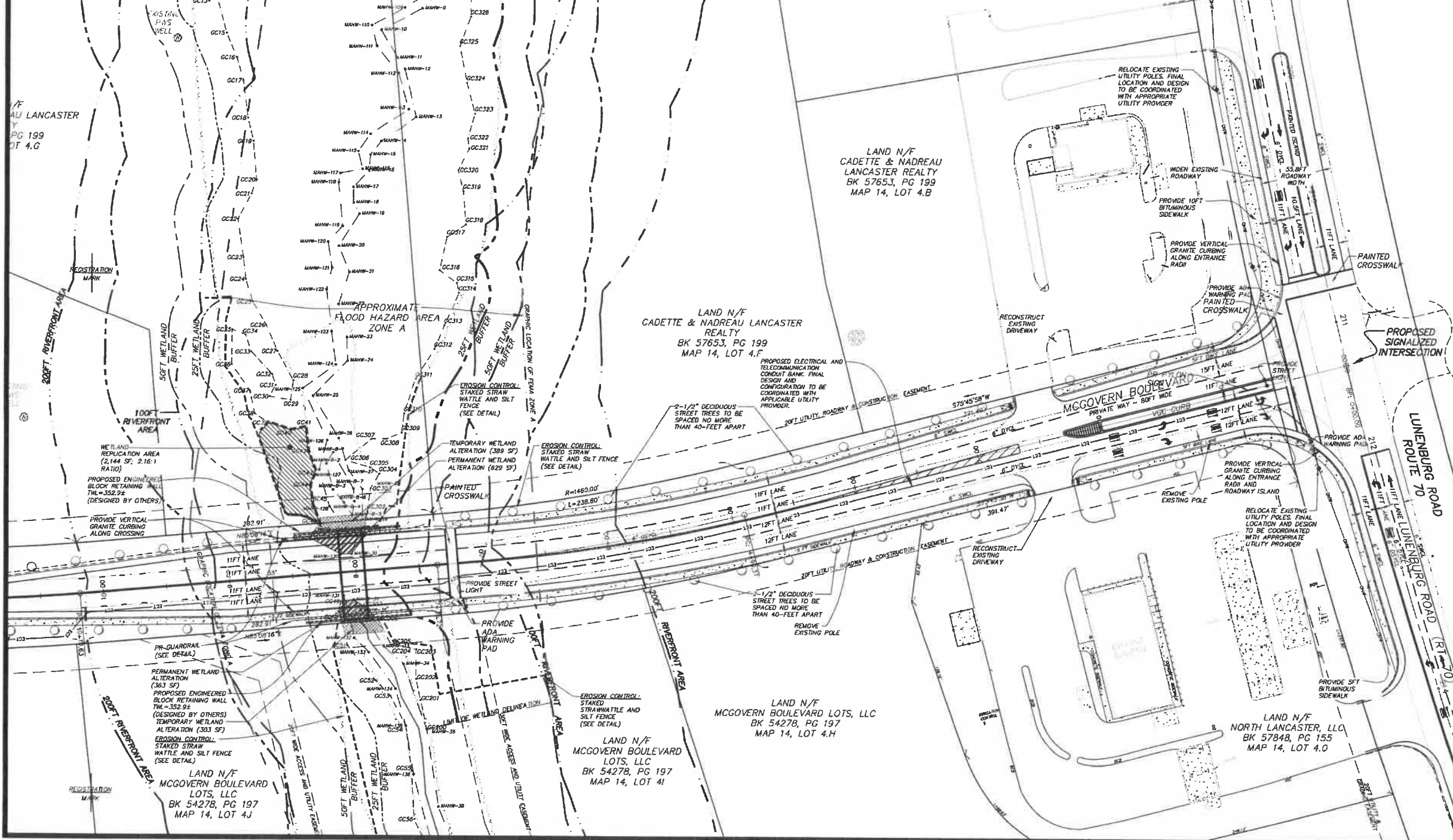
PREPARED FOR:
 NORTH LANCASTER, LLC
 STEVE BOUCHER
 435 LANCASTER STREET
 LEOMINSTER, MASSACHUSETTS 01453
 TEL: 978-534-0816



CALC: CMA/WDH	DRWN: CMA/WDH	SCALE: 1"=40'
CHKD: WDH	APPD: WDH	DATE: MAR 26, 2021
SRV: JEF	FB: FILES	JOB NO: 2226
TAB: (7) SDP	SHEET 7 OF 15	PLAN NO: C-11-1



VICINITY MAP
SCALE: 1:2000



LAND INFORMATION
 MAP/PARCEL: 14/A/D
 DEED BOOK/PAGE: 52227/354

ZONING INFORMATION
 ZONING DISTRICT: ENTERPRISE DISTRICT #1
 *E2-A OVERLAY DISTRICT
 **E2-A RETAIL SUB DISTRICT

DIMENSIONAL REQUIREMENTS:
 MINIMUM AREA: 64,000 SF
 MINIMUM FRONTAGE: 225 FEET
 MINIMUM SETBACKS:
 FRONT YARD: 40 FT**
 SIDE YARD: 30 FT
 REAR YARD: 30 FT
 **100FT WHEN ABUTTING A RESIDENTIAL DISTRICT

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 13. AREAS OF FILL TO BE COMPACTED TO A MINIMUM 95% DRY DENSITY IN AREAS WITHIN ROADWAYS AND UTILITY EASEMENTS. OTHER AREAS OF FILL TO BE COMPACTED TO A MINIMUM 90% DRY DENSITY. ALL FILL MATERIALS ARE TO BE CLEAN FILL, FREE OF DELETERIOUS MATERIALS AND DEBRIS.
 14. ALL SLOPES AND RAMPERS TO CONFORM TO REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA), AS REQUIRED. SEE ARCHITECTURAL PLANS FOR CONFORMANCE REQUIREMENTS FOR PROPOSED BUILDINGS.
 15. THE AREA PROPOSED FOR DEVELOPMENT IS WITHIN A 100 YEAR FLOOD PLAIN PER FEMA FIRM PANEL 25027-G0026E, DATED: JULY 4, 2011. COMPLIANCE WITH APPLICABLE REGULATIONS IS REQUIRED.
 16. ALL REINFORCED CONCRETE PIPE TO BE CLASS III UNLESS OTHERWISE NOTED.
 17. PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 18. ALL UTILITIES ARE TO BE INSTALLED BY A LICENSED UTILITY CONTRACTOR LICENSED BY THE TOWN OF LANCASTER.



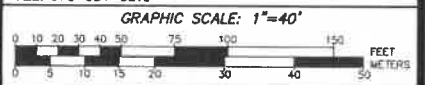
HANNIGAN ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

8 MONUMENT SQUARE (978) 534-1234 (T)
 LEOMINSTER, MASSACHUSETTS 01453 (978) 534-6060 (F)

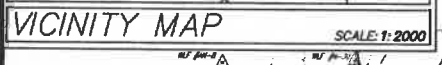
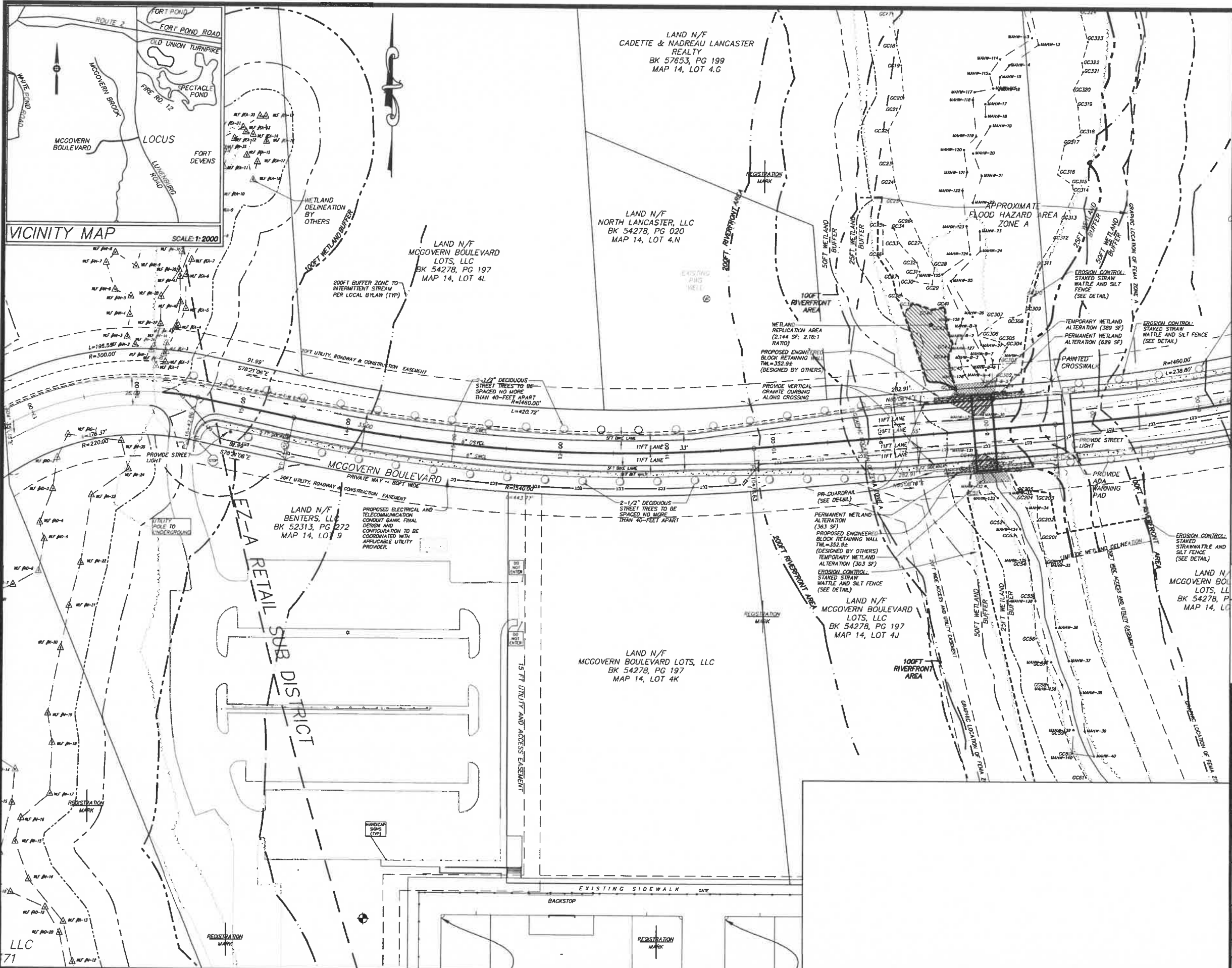
WWW.HANNIGANENGINEERING.COM

SITE LAYOUT PLAN
 IN
 LANCASTER, MASSACHUSETTS

PREPARED FOR:
 NORTH LANCASTER, LLC
 STEVE BOUCHER
 435 LANCASTER STREET
 LEOMINSTER, MASSACHUSETTS 01453
 TEL: 978-534-0816



CALC: CMA/WDH	DRWN: CMA/WDH	SCALE: 1"=40'
CHKD: WDH	APPD: WDH	DATE: MAR 26, 2021
SRV: JEF	FB: FILES	JOB NO: 2226
TAB: (8) LAYOUT	SHEET 8 OF 15	PLAN NO: C-11-1



PROJECT INFORMATION

LAND INFORMATION
 MAP/PARCEL: 14/A/D
 DEED BOOK/PAGE: 52227/354

ZONING INFORMATION
 ZONING DISTRICT: ENTERPRISE DISTRICT -
 "PCO OVERLAY DISTRICT
 "EZ-A RETAIL SUB DISTRICT

DIMENSIONAL REQUIREMENTS:
 MINIMUM AREA: 64,000 SF
 MINIMUM FRONTAGE: 225 FEET
 MINIMUM SETBACKS:
 FRONT YARD: 40 FT**
 SIDE YARD: 30 FT
 REAR YARD: 30 FT
 **100FT WHEN ABUTTING A RESIDENTIAL DISTRICT

- GENERAL NOTES:**
1. PROPERTY LINE INFORMATION BASED ON AN ON-THE-GROUND SURVEY BY HANNIGAN ENGINEERS, INC. IN JULY OF 2013. TOPOGRAPHIC INFORMATION IS THE RESULT OF AN AERIAL TOPOGRAPHIC SURVEY PERFORMED BY MINUTEMAN MAPPING IN OCTOBER OF 2009 NAVD83 DATUM. ADDITIONAL FIELD SURVEY HAS BEEN PERFORMED TO VERIFY AND ADJUST TOPOGRAPHIC FEATURES AS NEEDED BY THIS OFFICE THROUGH NOVEMBER OF 2020.
 2. AREAS SUBJECT TO PROTECTION UNDER THE WETLANDS PROTECTION ACT HAVE BEEN DELINEATED BY GODDARD CONSULTING, LLC IN OCTOBER OF 2020. THESE AREAS ARE DEPICTED ON THE PLANS BASED ON FIELD SURVEY LOCATION DURING THE TOPOGRAPHIC SURVEY.
 3. LOCATION OF ALL UTILITIES ARE APPROXIMATE AS SHOWN AND BASED UPON VISIBLE STRUCTURES AT THE TIME OF THE SURVEY. LOCATION OF EXISTING UTILITIES AND SUBSURFACE STRUCTURES, WHETHER OR NOT SHOWN ON THESE PLANS, SHALL BE DETERMINED BY THE CONTRACTOR, MARKED IN THE FIELD, AND REVIEWED BY THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE AWARE OF THE OBLIGATION TO ALL UTILITY COMPANIES AND AGENCY AS WELL AS DIG-SAFES PRIOR TO EXCAVATION (SEE NOTE).
 4. NOTIFICATION REQUIREMENTS SHOWN ON THIS PLAN SHALL NOT RELIEVE THE CONTRACTOR OF ANY OTHER REQUIREMENTS WHICH MAY EXIST UNDER LOCAL, STATE, OR FEDERAL JURISDICTION TO WHICH THE CONTRACTOR IS OBLIGATED.
 5. RELOCATION OF AND/OR CONNECTION TO EXISTING UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY.
 6. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH THE REQUIREMENTS OF THE TOWN OF LANCASTER AND THE MASS DOT SPECIFICATIONS OF HIGHWAYS AND BRIDGES.
 7. ALL SLOPES UNLESS OTHERWISE SPECIFIED, SHALL BE LOADED AND SEEDED FOR STABILIZATION.
 8. ANY DEVIATIONS IN DESIGN AS SHOWN SHALL REQUIRE A REVIEW AND APPROVAL OF THE DESIGN ENGINEER OR FIRM. CHANGES MADE IN THE FIELD MADE WITHOUT AUTHORIZATION SHALL BE SUBJECT TO REVIEW BY THE ENGINEER AND APPROPRIATE APPROVING AUTHORITY. EXPENSES INCURRED TO BRING THE UNAUTHORIZED CHANGES TO ACCEPTABLE CONFORMANCE SHALL BE BORNE BY THE COMPANY OR CONTRACTOR MAKING THE UNAUTHORIZED CHANGE.
 9. ANY MATERIALS DISCOVERED ON-SITE WHICH ARE NOT SUITABLE FOR USE IN THE PROJECT AS SHOWN ON THIS PLAN SHALL BE REMOVED AND HAULED OFF-SITE TO AN APPROPRIATELY LICENSED FACILITY.
 10. PLANS TO BE REVIEWED BY APPLICABLE UTILITY AGENCIES FOR COMPLIANCE WITH REGULATIONS. FINAL LOCATION IS SUBJECT TO CHANGE.
 11. APPLICANT SHOULD BE AWARE OF OBLIGATIONS TO COMPLY WITH CHAPTER 131, SECTION 40 OF THE MASSACHUSETTS GENERAL LAWS, OTHERWISE KNOWN AS THE WETLANDS PROTECTION ACT, AND THE ASSOCIATED REGULATIONS (10A CMR 10.00).
 12. STOCKPILING OF MATERIAL SHALL NOT BE PERMITTED WITHIN ANY AREAS SUBJECT TO PROTECTION UNDER THE WETLANDS PROTECTION ACT WITHOUT PRIOR APPROVAL BY THE LOCAL CONSERVATION COMMISSION. STOCKPILES SHALL BE PLACED IN A SUITABLE LOCATION AND SURROUNDED BY A ROW OF STAKED HAY BALES FOR EROSION CONTROL.
 13. AREAS OF FILL TO BE COMPACTED TO A MINIMUM 95% DRY DENSITY IN AREAS WITHIN ROADWAYS AND UTILITY GASSETS. OTHER AREAS OF FILL TO BE COMPACTED TO A MINIMUM 90% DRY DENSITY. ALL FILL MATERIALS ARE TO BE CLEAN FILL, FREE OF DELETERIOUS MATERIALS AND DEBRIS.
 14. ALL SIDEWALKS AND RAMPS TO CONFORM TO REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA), AS REQUIRED. SEE ARCHITECTURAL PLANS FOR CONFORMANCE REQUIREMENTS FOR PROPOSED BUILDINGS.
 15. THE AREA PROPOSED FOR DEVELOPMENT IS WITHIN A 100 YEAR FLOOD PLAIN PER FEMA-A, FIRM PANEL 19827-0208E, DATED: JULY 4, 2011. COMPLIANCE WITH APPLICABLE REGULATIONS IS REQUIRED.
 16. ALL REINFORCED CONCRETE PIPE TO BE CLASS II UNLESS OTHERWISE NOTED.
 17. PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 18. ALL UTILITIES ARE TO BE INSTALLED BY A LICENSED UTILITY CONTRACTOR LICENSED BY THE TOWN OF LANCASTER.

NO.	DATE	PEER REVIEW COMMENTS	CMA/WH
1	7/22/2021		

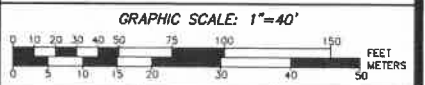


HANNIGAN ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

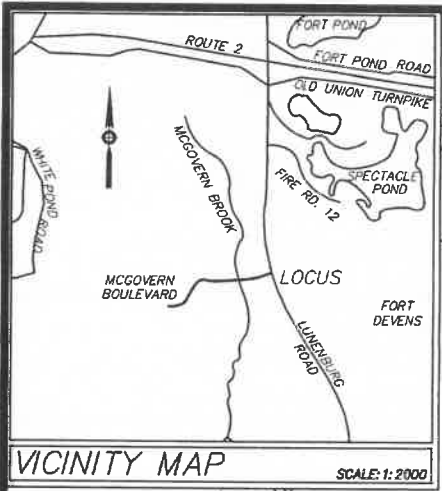
6 MONUMENT SQUARE
 LEOMINSTER, MASSACHUSETTS 01453
 (978) 534-1234 (T)
 (978) 534-6060 (F)
 WWW.HANNIGANENGINEERING.COM

**SITE LAYOUT PLAN
 IN
 LANCASTER, MASSACHUSETTS**

PREPARED FOR:
 NORTH LANCASTER, LLC
 STEVE BOUCHER
 435 LANCASTER STREET
 LEOMINSTER, MASSACHUSETTS 01453
 TEL: 978-534-0816



CALC: CMA/WH	DRWN: CMA/WH	SCALE: 1"=40'
CHKD: WH	APPD: WH	DATE: MAR 26, 2021
SRV: JEF	FB: FILES	JOB NO: 2226
TAB: (9) LAYOUT	SHEET 9 OF 15	PLAN NO: C-11-1



STREAM CROSSING CALCULATION
EXISTING CULVERT
 EXISTING WIDTH = 5 FT±
 EXISTING LENGTH = 36 FT±
 EXISTING HEIGHT = 5 FT±
 OPENNESS RATIO = (5'x5') / 36 FT
 OPENNESS RATIO = 0.69FT (MIN 0.82FT)

STREAM REVIEW
 STREAM WIDTH VARIES
 7.0- FEET (UPSTREAM)
 15.0- FEET (DOWN STREAM)
 MAX STREAM WIDTH = 15 (DOWN STREAM)
 BANK FULL = 1.2 x 15FT = 18FT MIN
 MINIMUM REQUIRED WIDTH = 18FT

PROPOSED CULVERT
 PROPOSED WIDTH = 18.0FT
 PROPOSED LENGTH = 72.0FT
 PROPOSED HEIGHT = 4.3FT
 OPENNESS RATIO = (4.3'x18.0') / 72FT
 OPENNESS RATIO = 1.08FT < 0.82FT ↓

PROJECT INFORMATION

LAND INFORMATION
 MAP/PARCEL: 14/4.0
 DEED BOOK/PAGE: 52227/354

ZONING INFORMATION
 ZONING DISTRICT: ENTERPRISE DISTRICT *
 SUB-DISTRICT: RZ-A RETAIL SUB DISTRICT

DIMENSIONAL REQUIREMENTS:
 MINIMUM AREA: 64,000 SF
 MINIMUM FRONTAGE: 225 FEET
 MINIMUM SETBACKS:
 FRONT YARD: 40 FT**
 SIDE YARD: 30 FT
 REAR YARD: 30 FT
 **40FT WHEN ADJUTING A RESIDENTIAL DISTRICT

- GENERAL NOTES:**
1. PROPERTY LINE INFORMATION BASED ON AN ON-THE-GROUND SURVEY BY HANNIGAN ENGINEERING, INC. IN JULY OF 2013. TOPOGRAPHIC INFORMATION IS THE RESULT OF AN AERIAL TOPOGRAPHIC SURVEY PERFORMED BY MINUTEMAN MAPPING IN OCTOBER OF 2009 NAVD83 DATUM. ADDITIONAL FIELD SURVEY HAS BEEN PERFORMED TO VERIFY AND ADJUST TOPOGRAPHIC FEATURES AS NEEDED BY THIS OFFICE THROUGH NOVEMBER OF 2020.
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 14. THE AREA PROPOSED FOR DEVELOPMENT IS WITHIN A 100 YEAR FLOOD PLAIN PER F.C.M.A. FROM PANEL 75507-0208B. DATED: JULY 4, 2011. COMPLIANCE WITH APPLICABLE REGULATIONS IS REQUIRED.
 15. ALL REINFORCED CONCRETE PIPE TO BE CLASS III UNLESS OTHERWISE NOTED.
 16. PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 17. ALL UTILITIES ARE TO BE INSTALLED BY A LICENSED UTILITY CONTRACTOR LICENSED BY THE TOWN OF LANCASTER.

NO.	DATE	REVISIONS	BY
1	7/22/2021	PEER REVIEW COMMENTS	CMA/WDH

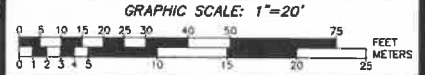


HANNIGAN ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

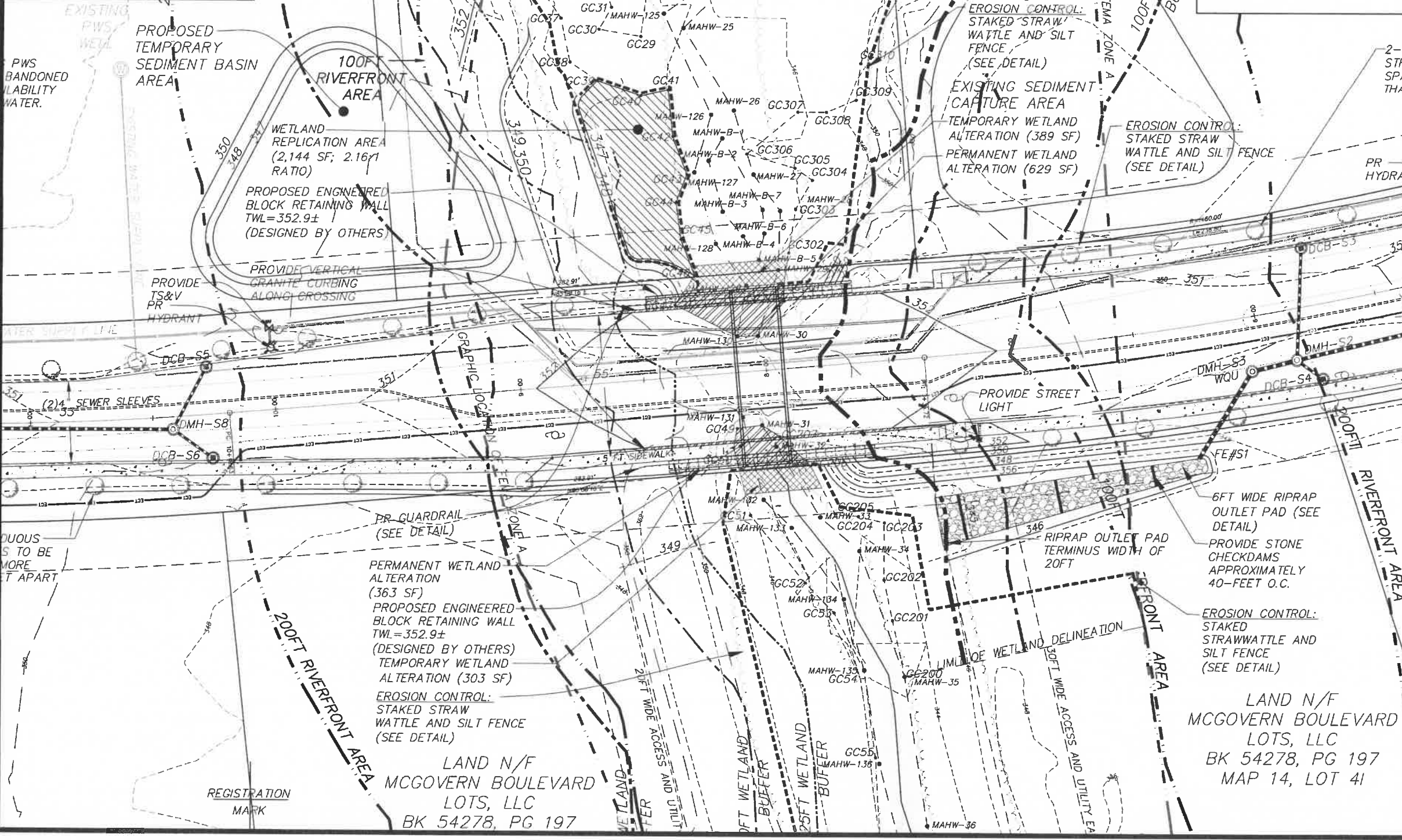
8 MONUMENT SQUARE (978) 534-1234 (F)
 LEOMINSTER, MASSACHUSETTS 01453 (978) 534-6060 (F)
 WWW.HANNIGANENGINEERING.COM

STREAM CROSSING PLAN IN LANCASTER, MASSACHUSETTS

PREPARED FOR:
 NORTH LANCASTER, LLC
 STEVE BOUCHER
 435 LANCASTER STREET
 LEOMINSTER, MASSACHUSETTS 01453
 TEL: 978-534-0816

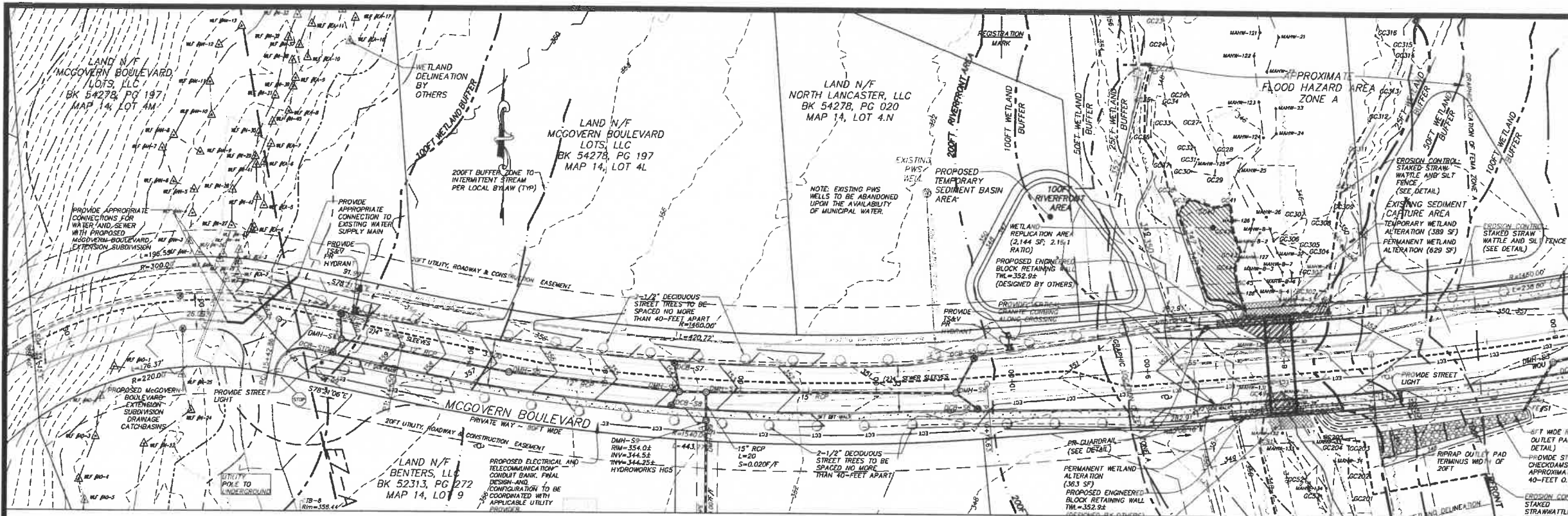


CALC: CMA/WDH	DRWN: CMA/WDH	SCALE: 1"=20'
CHKD: WDH	APPD: WDH	DATE: MAR 26, 2021
SRV: JEF	FB: FILES	JOB NO: 2226
TAB: (10) CROSS	SHEET 10 OF 15	PLAN NO: C-11-1



LAND N/F
 MCGOVERN BOULEVARD
 LOTS, LLC
 BK 54278, PG 197

LAND N/F
 MCGOVERN BOULEVARD
 LOTS, LLC
 BK 54278, PG 197
 MAP 14, LOT 41



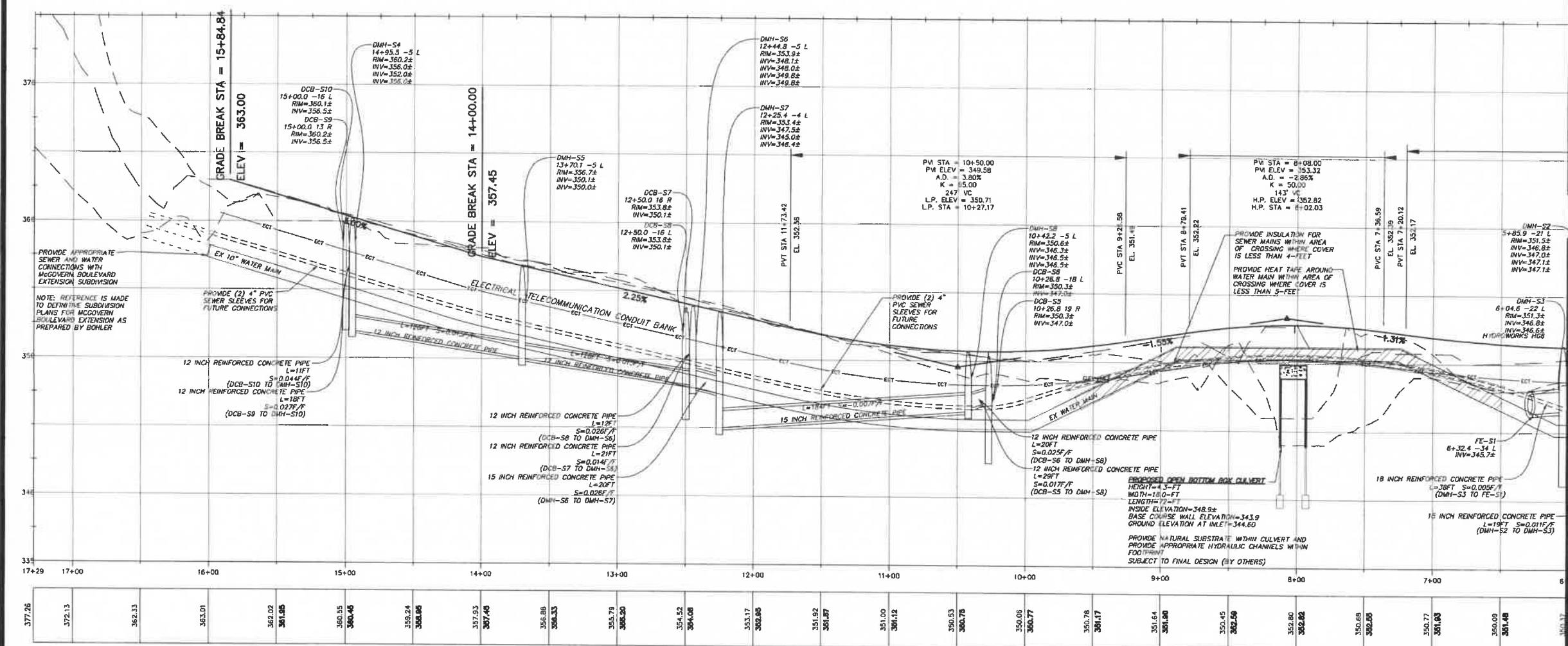
PROJECT INFORMATION

LAND INFORMATION
 MAP/PARCEL: 14/A/D
 DEED BOOK/PAGE: 52227/354

ZONING INFORMATION
 ZONING DISTRICT: ENTERPRISE DISTRICT +
 HOOD OVERLAY DISTRICT
 "EZ-A" RETAIL SUB DISTRICT

DIMENSIONAL REQUIREMENTS:
 MINIMUM AREA: 64,000 SF
 MINIMUM FRONTAGE: 225 FEET
 MINIMUM SETBACKS:
 FRONT YARD: 40 FT**
 SIDE YARD: 30 FT
 REAR YARD: 30 FT
 **100FT WHEN ADJUTING A RESIDENTIAL DISTRICT

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 - ALL SIDEWALKS AND RAMPS TO CONFORM TO REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA), AS REQUIRED. SEE ARCHITECTURAL PLANS FOR PERFORMANCE REQUIREMENTS FOR PROPOSED BUILDINGS.
 - THE AREA PROPOSED FOR DEVELOPMENT IS WITHIN A 100 YEAR FLOOD PLAIN PER FEMA FIRM PANEL 25022-C0086B, DATED: JULY 4, 2011, COMPLIANCE WITH APPLICABLE REGULATIONS IS REQUIRED.
 - ALL REINFORCED CONCRETE PIPE TO BE CLASS III UNLESS OTHERWISE NOTED.
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NO.	DATE	PEER REVIEW COMMENTS	CMA/WDH
1	7/22/2021	PEER REVIEW COMMENTS	CMA/WDH

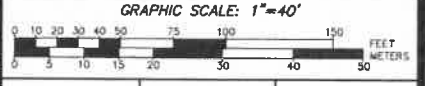
NO.	DATE	REVISIONS	BY

HANNIGAN ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

8 MONUMENT SQUARE
 LEOMINSTER, MASSACHUSETTS 01453 (978) 534-1234 (F)
 (978) 534-6060 (T)
 WWW.HANNIGANENGINEERING.COM

ROADWAY PROFILE IN LANCASTER, MASSACHUSETTS

PREPARED FOR:
 NORTH LANCASTER, LLC
 STEVE BOUCHER
 435 LANCASTER STREET
 LEOMINSTER, MASSACHUSETTS 01453
 TEL: 978-534-0816



CALC: CMA/WDH	DRWN: CMA/WDH	SCALE: 1"=40'
CHKD: WDH	APPD: WDH	DATE: MAR 26, 2021
SRV: JEF	FB: FILES	JOB NO: 2226
TAB: (12) PROF	SHEET 12 OF 15	PLAN NO: C-11-1

McGOVERN BOULEVARD PHASE II ROADWAY PROFILE
 HORIZONTAL SCALE: 1: 40
 VERTICAL SCALE: 1: 4

EROSION & SEDIMENTATION CONTROL PLAN

GENERAL:
 1. THE PURPOSE OF THIS PLAN IS TO PRESENT A PREVENTIVE METHOD OF CONSTRUCTION TO MINIMIZE THE IMPACT OF THE CONSTRUCTION ACTIVITIES UPON WETLAND AND OTHER SENSITIVE AREAS. THE DATA CONTAINED ON THIS PLAN IS INTENDED TO SUPPLEMENT THE DEVELOPER OR CONTRACTOR'S EXPERTISE AND IS NOT MEANT TO CIRCUMVENT LOCAL DECISIONS REQUIRED BY A VARIETY OF FIELD CONDITIONS INCLUDING WEATHER AND THE TYPE OF EQUIPMENT AVAILABLE TO THE CONTRACTOR.

2. THE CONTRACTOR IS TO BE AWARE OF THE REQUIREMENTS AND OBLIGATIONS TO COMPLY WITH CHAPTER 131 SECTION 40 OF THE MASSACHUSETTS GENERAL LAWS, OTHERWISE KNOWN AS THE WETLANDS PROTECTION ACT, AND ITS ASSOCIATED REGULATIONS (310 CMR 10.00). CERTAIN PERMITS IN THE FORM OF AN ORDER OF CONDITIONS, OR OTHER FORMATS, MAY BE REQUIRED FOR THE CONSTRUCTION AS DEPICTED ON THIS PLAN. THESE PERMITS SHALL BE REVIEWED AND ADHERED TO BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL ALSO MAINTAIN COPIES OF ALL PERMITS ON SITE AT ALL TIMES.

3. IF CHANGES IN THE PROJECT ARE REQUIRED DUE TO FIELD CONDITIONS THE DEVELOPER/CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER FOR REVIEW OF THESE CONDITIONS. UPON REVIEW, AND PRIOR TO THE IMPLEMENTATION OF ANY CHANGES, THE CONTRACTOR AND THE ENGINEER SHALL MEET WITH THE APPROPRIATE LOCAL AND/OR STATE OFFICIAL, OR ITS AGENT, TO DETERMINE IF THE CHANGE REQUIRES MODIFICATION TO EXISTING APPROVED PERMITS.

4. ALTERATION AND/OR DESTRUCTION OF WETLAND AREAS WITHOUT PRIOR CONSENT OF THE CONSERVATION COMMISSION IS PROHIBITED. SILTATION PLUMES, ILLICIT DISCHARGES, OR INADVERTENT ALTERATION SHALL BE CONSIDERED AS ACTIVITIES NOT PERMITTED BY THE ORDER AND SHALL BE REPORTED TO THE CONSERVATION COMMISSION ALONG WITH THE PROPOSED MITIGATIVE MEASURES.

5. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE INSTALLED AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL BARRIER UNTIL ALL WORK IS COMPLETE, AND ALL AREAS HAVE BEEN STABILIZED. THE REMOVAL OF SEDIMENT CONTROL DEVICES SHALL BE ONLY UPON THE APPROVAL OF THE CONSERVATION COMMISSION.

6. EROSION AND SEDIMENTATION CONTROL DEVICES, SUCH AS CHECK DAMS, STORMEN BARRIERS, SHALL BE INSTALLED AS SHOWN ON THE SITE DEVELOPMENT PLANS WITH ASSOCIATED DETAILS, AS APPROPRIATE.

7. CONSTRUCTION OPERATIONS SHALL NOT CAUSE NOTICEABLE SEDIMENTATION PLUMES TO OCCUR ON OR SURROUNDING THE PROJECT. SHOULD SEDIMENT EXTEND BEYOND THE EROSION CONTROL BARRIERS, THE CONTRACTOR SHALL STOP WORK AND THE CONSTRUCTION AS MITIGATION MEASURES TO PREVENT FURTHER SEDIMENTATION.

8. NO MATERIAL SUBJECT TO EROSION SHALL BE STOCKPILED OVERNIGHT WITHIN 100 FEET OF ANY WETLAND AREAS WITHOUT PROPER EROSION AND SEDIMENTATION DEVICES IN PLACE.

9. EQUIPMENT SHALL NOT BE PARKED WITHIN WETLAND OR BUFFER AREAS EXCEPT DURING OPERATIONS REQUIRING SAND EQUIPMENT.

10. ACCUMULATED SEDIMENT ALONG EROSION CONTROL BARRIERS SHALL BE PERIODICALLY REMOVED AND DISPOSED OF BY THE CONTRACTOR AS REQUIRED BY THE ENGINEER OR AS DIRECTED BY THE ENGINEER.

EROSION CONTROL METHODS:

1. IT IS OF GREAT IMPORTANCE THAT CONCENTRATION OF RUNOFF BE AVOIDED IN ORDER TO PREVENT THE TRANSPORT OF SEDIMENT.
 2. THE PRIMARY EROSION CONTROL METHOD TO BE UTILIZED IS TO LIMIT THE AREA OF DISTURBANCE DURING CONSTRUCTION ACTIVITIES. THIS IS ACCOMPLISHED BY PROMPT STABILIZATION OF DISTURBED AREAS UPON COMPLETION OF SEQUENCES OF CONSTRUCTION.
 3. EROSION AND SEDIMENT CONTROL DEVICES SUCH AS HAY BALES, SILT FENCES, DIVERSION BERMS, ETC. SHALL BE UTILIZED FOR THE PROTECTION OF THE AREAS BEYOND THE LIMIT OF CONSTRUCTION.

DEMARICATION OF SENSITIVE AREAS:

1. IT IS RECOMMENDED THAT BARRIERS BE PLACED ON THE SITE TO CONTROL THE LIMITS OF THE DISTURBANCE. AS AN EXAMPLE, HAY BALE BARRIERS PROVIDE SUCH DEMARICATION AND OTHER METHODS SUCH AS LOG BARRIERS, ROPE WITH FLAGGING, ETC. MAY BE UTILIZED.
 2. CARE SHOULD BE TAKEN IN THE OPERATION OF EQUIPMENT, SUCH THAT ONLY THE MINIMUM AREA NEEDED TO BE ALTERED IS DISTURBED.

ACCESS:

1. ACCESS TO THE SITE SHALL BE MADE IN THE AREA OF A PERMANENT DRIVEWAY OR ROADWAY UNLESS GOING SO WOULD RESULT IN A TRAFFIC HAZARD.
 2. AN AREA OF CRUSHED STONE SHALL BE PLACED AT THE DRIVEWAY ENTRANCE TO INSURE THAT MUD IS NOT TRACKED ONTO THE EXISTING ROAD (SEE CONSTRUCTION ENTRANCE DETAIL). IF MUD IS INADVERTENTLY TRACKED ONTO THE ROAD, IT SHOULD BE PROMPTLY REMOVED.
 3. LABORERS VEHICLES SHALL BE PARKED IN A DESIGNATED AREA AS TO MINIMIZE DISTURBED SURFACES AND TO INSURE THAT RUTS ARE NOT CREATED AND WHICH COULD CARRY WATER TO A WETLAND OR OTHER SENSITIVE AREA.
 4. SUITABLE MEASURES SHALL BE TAKEN TO INSURE THAT LARGE DELIVERY TRUCKS SERVING THE SITE DO NOT DAMAGE TO AREAS OF EXISTING VEGETATION OR CAUSE DISTURBANCE TO STABILIZED AREAS.

ORDERLY CONSTRUCTION PROCEDURES:

1. THE CONTRACTOR SHALL PERFORM SITE CONSTRUCTION IN A MANNER WHICH WILL INSURE THE STABILIZATION OF AREAS IN PROXIMITY OF OR TRIBUTARY TO WETLAND AREAS AS SOON AS POSSIBLE.
 2. EROSION CONTROL DEVICES SUCH AS HAY BALE BARRIERS, SILT FENCES AND MULCH SHALL BE BROUGHT TO THE SITE AND STOCKPILED PRIOR TO INITIATING CONSTRUCTION.
 3. THE CONTRACTOR SHALL PROVIDE AREAS FOR THE TEMPORARY STORAGE OF CONSTRUCTION DEBRIS. CONSTRUCTION DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE FOR AN EXTENDED PERIOD OF TIME.

CLEARING:

1. LAND CLEARING SHALL BE PERFORMED IN PHASES CONSISTENT WITH ACTUAL CONSTRUCTION REQUIREMENTS. FINAL LAND CLEARING SHALL BE LIMITED TO RETURN TO GRADE SLOPES.
 2. TREES SHALL BE CUT AND STUMPS GROUND IN PLACE TO EXISTING GRADE TO MAINTAIN SOIL STABILIZATION.
 3. BRUSH AND BRANCHES SHOULD BE CHIPPED AND UTILIZED FOR WOOD MULCH IF PRACTICAL.
 4. VEHICLES UTILIZED IN THE CLEARING OPERATION SHOULD NOT TRAVERSE WETLANDS OR FLOWING BROOKS OR STREAMS WITHOUT PRIOR APPROVAL FROM THE LOCAL CONSERVATION COMMISSION OR AGENT.

GRUBBING AND STRIPPING:

1. TOP SOIL SHALL BE RETAINED FOR LANDSCAPING PURPOSES.
 2. GRUBBING AND STRIPPING OF SLOPES LEADING TO WETLAND AREAS SHOULD NOT BE UNDERTAKEN DURING PERIODS OF INTENSE RAINFALL.
 3. TOP SOIL STOCKPILE LOCATIONS ARE DEPICTED ON THE SITE DEVELOPMENT PLAN, THE EROSION CONTROL PLAN, AND/OR THE CONSTRUCTION PHASING PLAN AND SHALL BE ADHERED TO.
 4. WHEN WORKING IN THE VICINITY OF WETLANDS, TOP SOIL SATURATED WITH WATER SHALL BE REMOVED, AND CONTAINED PRIOR TO BEING USED.
 5. AREAS LEADING TO WETLANDS SHALL HAVE HAY BALE BARRIERS INSTALLED ACROSS THEM IN ARCS POINTING DOWN THE HILL AT INTERVALS SUFFICIENT TO MITIGATE RUNOFF CARRYING SEDIMENT.
 6. DURING PERIODS OF INTENSE RAINFALL, OR IF THE PROJECT IS TO BE LEFT FOR A PERIOD OF TIME, CONSIDERATION SHOULD BE GIVEN TO SUPPLEMENT HAY BALE BARRIERS WITH EITHER CRUSHED STONE OR ANCHORED BARRIERS. CONSIDERATION MAY ALSO BE GIVEN TO DIVERTING RUNOFF INTO TEMPORARY SEDIMENTATION CONTROL AREAS.
 7. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED AND SUPPLEMENTED.

ROUGH GRADING:

1. THE ROUGH GRADING OF THE ROADWAY SHALL FOLLOW THE FILL AND EXCAVATION SEQUENCES, RESULTING IN SLOPES BEING MAINTAINED AWAY FROM WETLANDS AND SENSITIVE AREAS AS MUCH AS PRACTICAL.
 2. DURING THIS PROCESS THE EROSION POTENTIAL IS HIGH. SUFFICIENT EROSION CONTROL BARRIERS SHOULD BE KEPT IN PROXIMITY TO THE WORK AREA TO ALLOW QUICK ACTION SHOULD EROSION BECOME AN ISSUE AND TO INSURE THAT NO SEDIMENT REACHES WETLANDS OR OTHER SENSITIVE AREAS.

3. IN AREAS OF CUT AND/OR FILL WHERE SLOPES COULD DIVERT WATER TOWARD WETLAND AREAS, DIVERSION TRENCHES AND/OR SWALES SHOULD BE CONSIDERED AND IMPLEMENTED TO DIVERT WATER AWAY FROM THESE AREAS.
 4. STEEP SIDE SLOPES IN EXCAVATION OR FILL SHOULD BE AVOIDED.
 5. DISTURBED AREAS SHALL BE STABILIZED BY LOAMING AND SEEDING OR RIPRAP IMMEDIATELY AFTER THE FINISH GRADE HAS BEEN MET. IF FINAL GRADING DOES NOT OCCUR DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED BY HAY SECURED BY WEIGHTED SNOW FENCE, CHICKEN WIRE MESH OR JUTE NETTING WITH APPROPRIATE SECURING DEVICES.
 6. A GROUND COVER SUFFICIENT TO RETAIN SOILS IN A STABILIZED CONDITION MUST BE PROVIDED WITHIN 14 WORKING DAYS, SEASON PERMITTING, ON ANY PORTION OF THE TRACT UPON WHICH FURTHER ACTIVE CONSTRUCTION IS NOT BEING UNDERTAKEN.

DRAINAGE:
 1. IF DRAINAGE PIPES OR SWALES ARE TO BE INSTALLED, THEY SHALL BE CONSTRUCTED FROM DOWNSTREAM UP AND CONSTRUCTION SHALL INCLUDE THE PLACEMENT OF CUTFALL RIPRAP AND OTHER MITIGATIVE MEASURES SHOWN ON THE PLAN.
 2. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, HAY BALES OR OTHER SUITABLE METHODS TO ENTRAP SEDIMENT SHALL BE PLACED DOWNSTREAM.
 3. THE TOE OF EMBANKMENTS SHALL BE STABILIZED IMMEDIATELY, MULCHED AND TACKED DOWN BY SUITABLE MEANS.
 4. IF THE PROPOSED ROADWAY IS NOT PAVED IMMEDIATELY AFTER THE INSTALLATION OF DRAINAGE STRUCTURES, HAY BALES SHALL BE PLACED TO PROTECT THE INTEGRITY OF THE STRUCTURES.

BUILDING CONSTRUCTION:

1. DURING THE CONSTRUCTION OF BUILDINGS, MATERIALS SHALL BE STOCKPILED IN A MANNER AS NOT TO DIVERT OR CONCENTRATE RUNOFF IN ORDER TO PREVENT THE TRANSPORT OF SEDIMENT.
 2. THE LOT SHOULD BE KEPT LITTER FREE.
 3. NO FUELS, SOLVENTS, PAINTS, ETC. SHALL BE STORED ON SITE. THESE PRODUCTS SHALL BE REMOVED FROM THE SITE EACH EVENING AND RETURNED THE FOLLOWING DAY.
 4. BURIAL OF MATERIALS OR CONSTRUCTION DEBRIS IS PROHIBITED.
 5. PLASTERERS AND PAINTERS SHALL BE INFORMED THAT DISCHARGE OF GROUTS INTO A WETLAND OR RESOURCE AREA IS PROHIBITED.

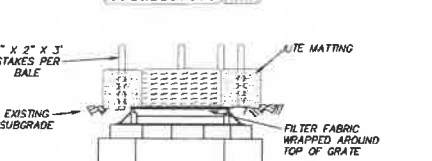
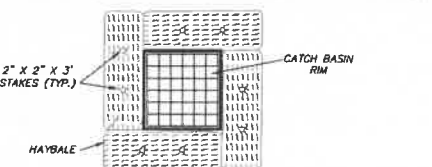
LANDSCAPING:

1. LANDSCAPING OF AREAS SHOULD OCCUR AS SOON AS POSSIBLE.
 2. IF THE SEASON OR ADVERSE WEATHER CONDITIONS DO NOT PERMIT THE ESTABLISHMENT OF VEGETATION, TEMPORARY HAY MULCH, OR OTHER MEANS OF STABILIZATION SHALL BE PERFORMED.
 3. USE OF HERBICIDES MAY BE SUBJECT TO OTHER REGULATIONS.
 4. CARE SHOULD BE TAKEN WITH FERTILIZERS SUCH THAT THEY ARE NOT CARRIED TO A WETLAND OR SENSITIVE AREA.
 5. TRUNKS OF TREES SHOULD NOT BE COVERED WITH MORE THAN TWO (2) INCHES OF SOIL.
 6. STRUMPS SHALL BE GROUND DOWN INTO A WOOD MULCH AND UTILIZED OR REMOVED FROM THE SITE.

CREATION OF DETENTION BASIN:

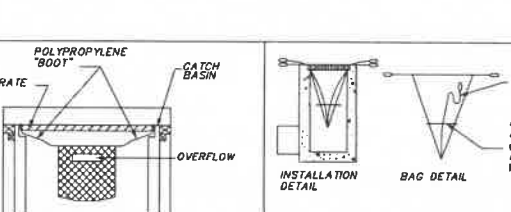
1. THE DETENTION BASIN HAS BEEN PLACED AS A SEPARATE ITEM TO EMPHASIZE THE IMPORTANCE OF EROSION CONTROL DURING ITS CONSTRUCTION.
 2. THE PRIMARY EROSION CONTROL METHOD FOR BASIN CONSTRUCTION, AS WELL AS FOR THE SITE IS THE RAPID STABILIZATION OF ALL SURFACES. SECONDARY IN IMPORTANCE IS THE CONCENTRATION OF RUNOFF BE AVOIDED IN ORDER TO PREVENT THE TRANSPORT OF SEDIMENT.
 3. DURING CONSTRUCTION, THE FILL AND EXCAVATION SEQUENCES SHOWN ON THIS PLAN SHOULD BE UTILIZED. THESE SEQUENCES REQUIRE THAT SLOPED AREAS LEFT FOR ANY PERIOD OF TIME NOT SLOPED TOWARDS THE WETLAND OR SENSITIVE AREA, BUT RATHER BACK INTO THE LOT MATERIAL.
 4. THE BASIN BERM IS TO BE CONSTRUCTED BY EQUIPMENT WORKING ON STABLE MATERIAL ONLY. HAY BALES SHALL BE PLACED AT THE TOE OF SLOPE UNTIL SURFACES ARE STABILIZED.
 5. NO EXCAVATION WITHIN THE BASIN SHALL COMMENCE UNTIL THE BERM IS IN PLACE.
 6. CARE SHOULD BE TAKEN TO INSURE THAT ORGANIC MATERIAL REMOVED FROM THE BASIN AREA IS RESERVED FOR FINISH GRADING AND THE STABILIZATION OF DISTURBED AREAS.
 7. IF DEWATERING IS NECESSARY, RUNOFF TO A SETTLING BASIN SHALL BE PERMITTED IF SETTLING BASIN IS CONSTRUCTED, MAINTAINED AND OPERATED EFFECTIVELY.
 8. AT NO TIME SHALL RUNOFF CARRYING SEDIMENT BE ALLOWED TO FLOW TO THE WETLANDS OR SENSITIVE AREAS.
 9. THE WORK AREA SHALL REMAIN FREE OF LITTER AND DEBRIS AT ALL TIMES AND MONITORED ON A DAILY BASIS TO ENSURE COMPLIANCE.
 10. ALL MATERIALS STOCKPILED SHALL BE LOCATED, MULCHED OR OTHERWISE TREATED TO INSURE THAT MATERIALS CONTAINED THEREIN, AREA NOT CARRIED INTO THE WETLANDS.
 11. ANY MATERIALS BLOWN OR CARRIED BY WATER AWAY FROM THE CONSTRUCTION SITE OR INTO THE WETLAND AREAS SHALL BE PROMPTLY REMOVED AS REQUIRED BY THE LOCAL CONSERVATION COMMISSION.
 12. A GEOTECHNICAL FILTER FABRIC SHALL BE PLACED OVER THE BASIN SUBDRAIN DURING CONSTRUCTION TO PREVENT SEDIMENT FROM ENTERING AND CLOGGING THE DRAIN. THE FABRIC SHALL BE REMOVED FOR BASIN PREPARATION FOR FINAL STABILIZATION.

- NOTES:**
 1. INSTALL HAY BALES FOR TEMPORARY SEDIMENTATION CONTROL.
 2. PERFORM BUILDING AND SITE CONSTRUCTION.
 3. CLEAN OUT CATCH BASINS AND DRAINAGE.
 4. RESTORE ALL DISTURBED AREAS.
 5. LOAM AND SEED ALL DISTURBED AREAS.
 6. REMOVE TEMPORARY EROSION CONTROL AFTER VEGETATION IS ESTABLISHED.



TEMPORARY ROADWAY SEDIMENT CONTROL

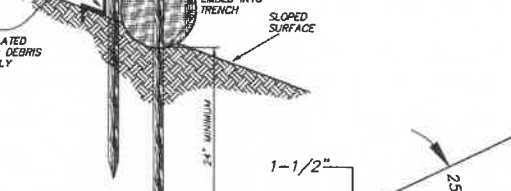
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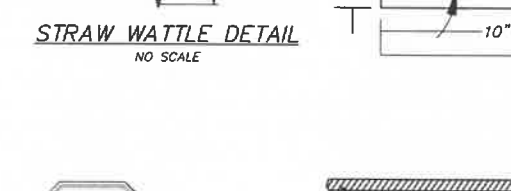
SILT SACK DETAIL
NO SCALE



STRAW WATTLE DETAIL
NO SCALE



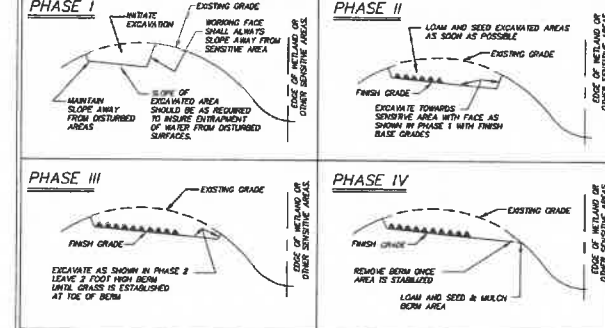
MODIFIED CAPE COD BERM
30FT WIDE - NO SCALE



SIGN POST DETAIL
(NO SCALE)

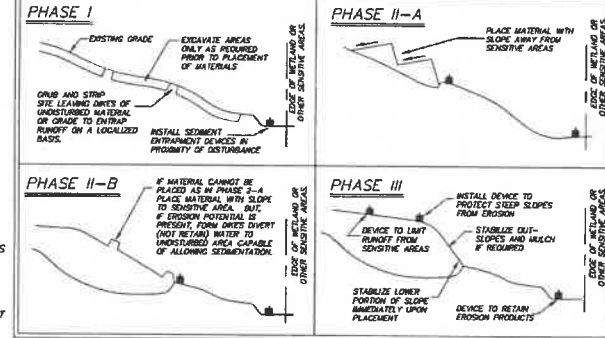
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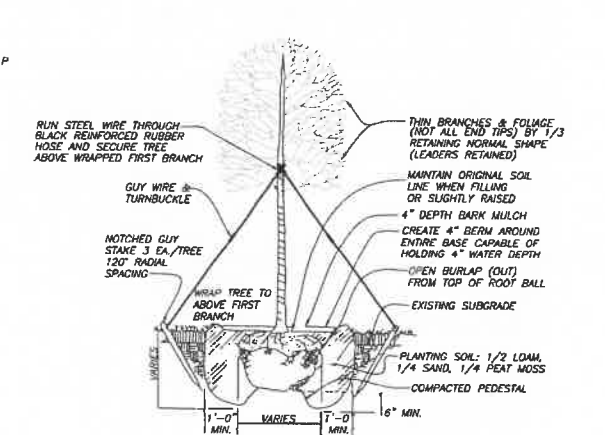


FILL SEQUENCE

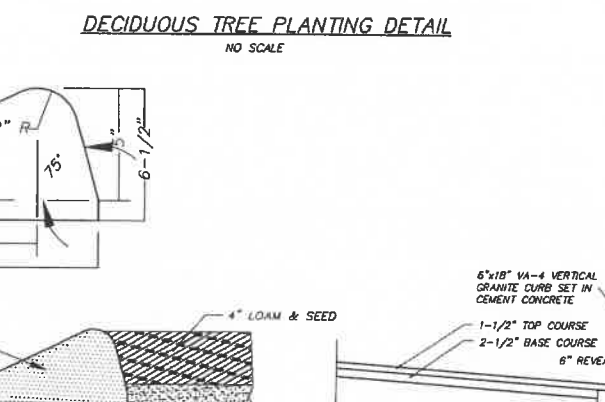
NO SCALE



DECIDUOUS TREE PLANTING DETAIL
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VERTICAL GRANITE CURBING
NO SCALE



SIGN DETAIL
NO SCALE

STORMWATER OPERATION AND MAINTENANCE PLAN

THE FOLLOWING SHALL BE CONSIDERED THE OPERATION & MAINTENANCE PLAN (OMP) FOR THE STORMWATER COLLECTION FACILITY FOR THIS DEVELOPMENT.

I. SYSTEM OWNERSHIP
 THE SYSTEM SHALL INCLUDE THE DRAINAGE INFRASTRUCTURE AND ALL OF ITS COMPONENTS AS SHOWN ON THE SITE DEVELOPMENT PLANS. THE SYSTEM SHALL ALSO INCLUDE THE PIPING TO THE CONNECTION TO THE TOWN OF LANCASTER DRAINAGE SYSTEM. THE STRUCTURES OF THE SYSTEM SHALL INCLUDE MANHOLES, CATCH BASINS, AND OUTFALL & CONTROL STRUCTURES, AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CONSTRUCTION DETAILS AND THE APPROVED PLANS.
 UPON THE COMPLETION OF CONSTRUCTION, THE DRAINAGE SYSTEM SHALL REMAIN THE PROPERTY OF HOMEOWNER ASSOCIATION AND INCLUDES RIGHTS AND RESPONSIBILITIES TO MAINTAIN, INSPECT, REPAIR, REPLACE, ETC., THE COMPONENTS OF THE DRAINAGE SYSTEM, INCLUDING OUTFALL & CONTROL STRUCTURES.

II. RESPONSIBLE PARTIES
 THE LAND OWNER SHALL BE CONSIDERED THE RESPONSIBLE PARTY FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM. THE SYSTEM SHALL INCLUDE THE DRAINAGE INFRASTRUCTURE AND ALL OF ITS COMPONENTS WITHIN DEVELOPMENT. THE LAND OWNER SHALL BE CONSIDERED THE RESPONSIBLE PARTY FOR THE OPERATION AND MAINTENANCE OF THE DETENTION FACILITIES AND THE OUTFALL AREAS OF THE DRAINAGE SYSTEM.

III. INSPECTION & MAINTENANCE SCHEDULE
 THE FOLLOWING MAINTENANCE SCHEDULE SHALL BE FOLLOWED IN ORDER TO MAINTAIN THE EFFECTIVENESS OF THE STORMWATER MANAGEMENT SYSTEM.

STRUCTURE TYPE	INSPECTION	MAINTENANCE	TASK
CATCH BASINS	QUARTERLY AND AT THE END OF END OF THE FOLIAGE AND SNOW REMOVAL SEASONS	QUARTERLY, OR WHENEVER THE DEPTH OF DEPOSITS IS GREATER THAN OR EQUAL TO ONE HALF THE DEPTH FROM THE BOTTOM OF THE INVERT OF THE LOWEST PIPE	REMOVE SEDIMENT FROM SUMPS ***GRATES TO BE KEPT CLEAR THROUGHOUT THE YEAR***
HYDROWORKS - HYDROGUARD	ANNUALLY IN THE SPRING	ANNUALLY IN THE SPRING	REMOVE SEDIMENT FROM SUMPS
RIP/RAP APRONS	TWICE A YEAR	EVERY TWO YEARS	CLEAN & ADD STONE
SPILLWAYS	TWICE A YEAR	EVERY TWO YEARS	REMOVE DEBRIS & ADD STONE
DETENTION BASINS	MONTHLY (MAY-OCT)	MONTHLY (MAY-OCT)	MOW GRASS AREAS & REMOVE DEBRIS REMOVE SEDIMENT IF PRESENT

NOTES:
 1. A MAJOR STORM EVENT IS DEFINED AS A STORM THAT IS EQUAL TO OR GREATER THAN THE 3-YEAR, 24 HOUR STORM (THREE (3) INCHES IN A 24-HOUR PERIOD).
 2. ANY SEDIMENTS AND HYDROCARBONS REMOVED DURING MAINTENANCE OF STORMWATER MANAGEMENT SYSTEM SHOULD BE TRANSPORTED OFF SITE FOR DISPOSAL. DISPOSAL OF SEDIMENTS AND HYDROCARBONS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LAWS.
 3. IT IS RECOMMENDED THAT ICE REMOVAL/PREVENTION METHODS LIMIT OR AVOID THE USE OF SAND PRODUCTS ON THE PROJECT.

NO.	DATE	REVISIONS	BY
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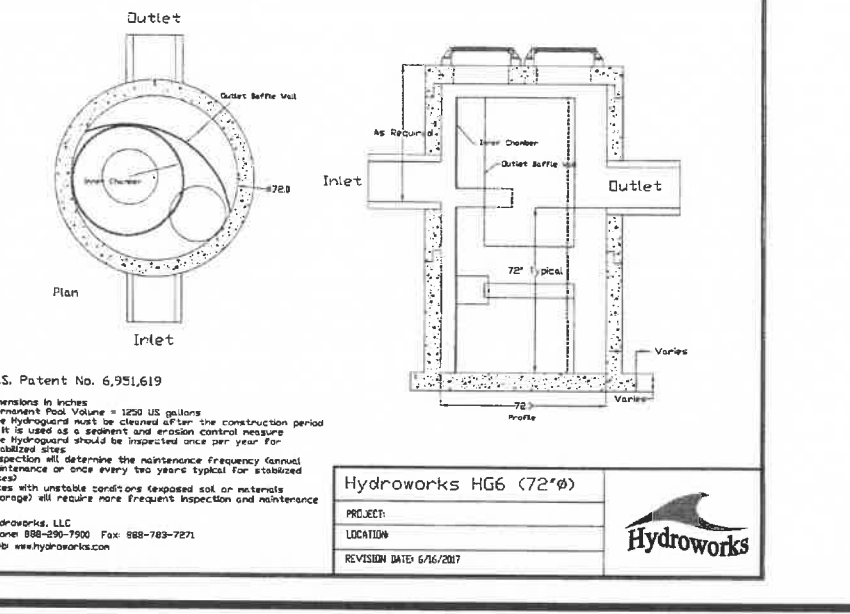
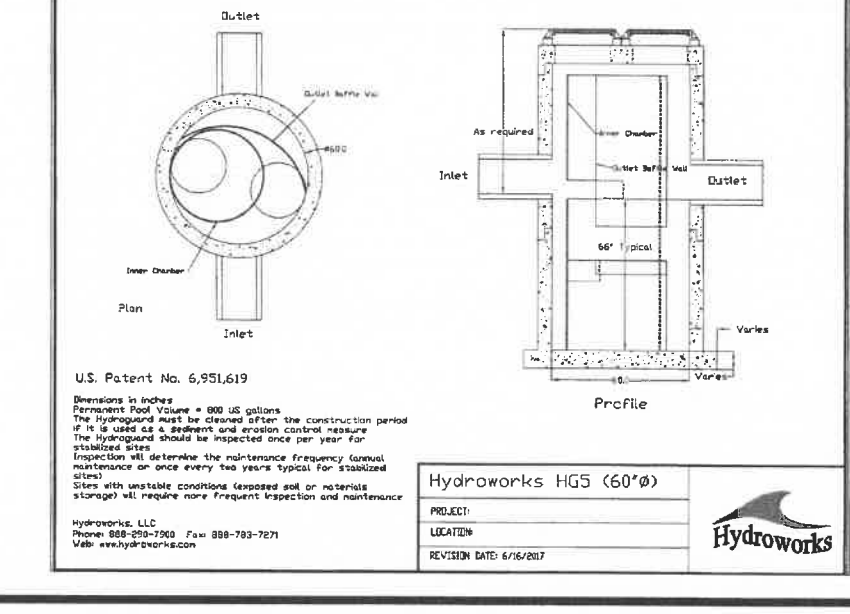
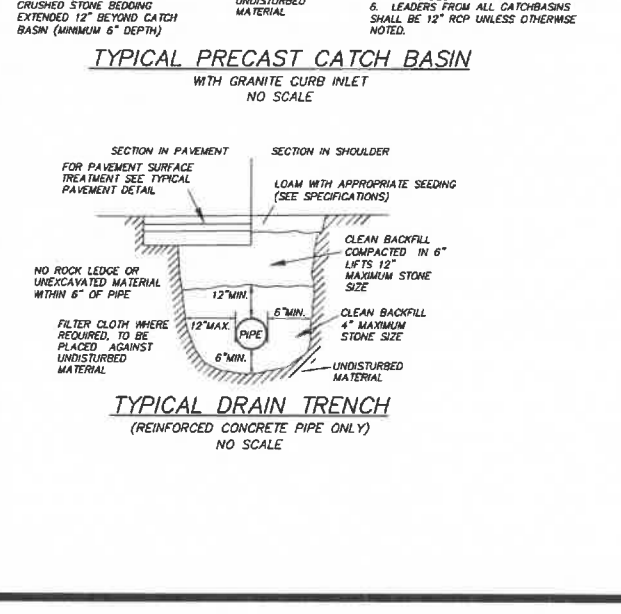
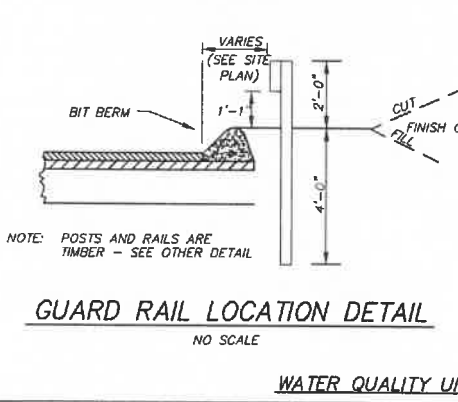
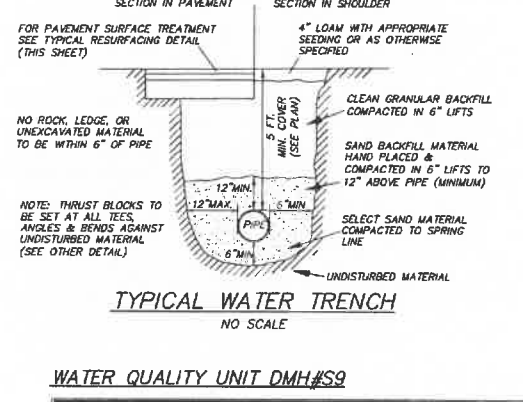
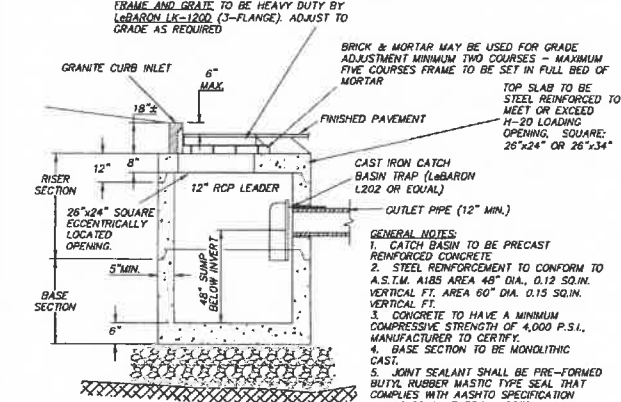
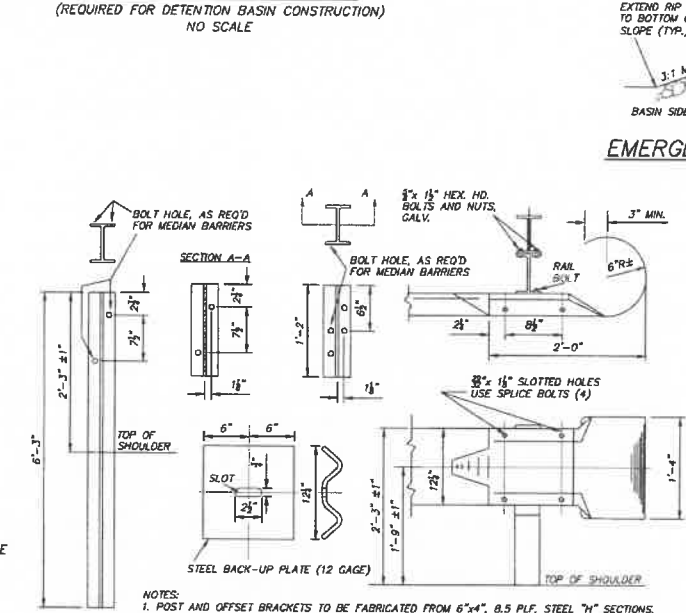
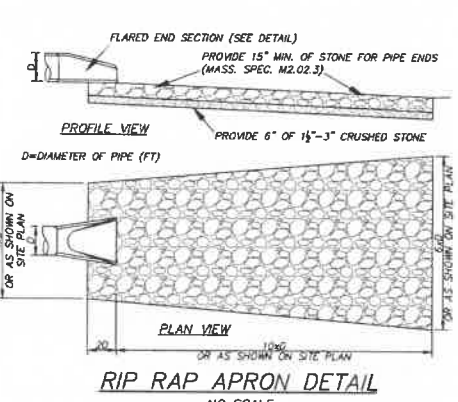
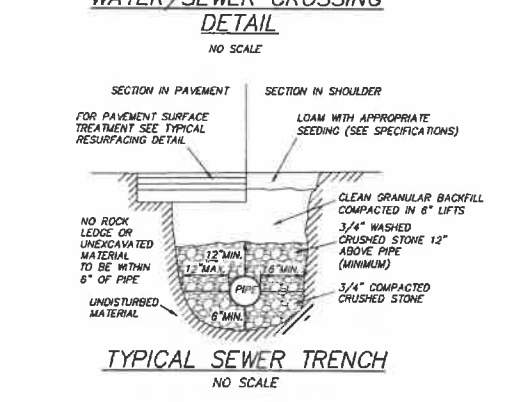
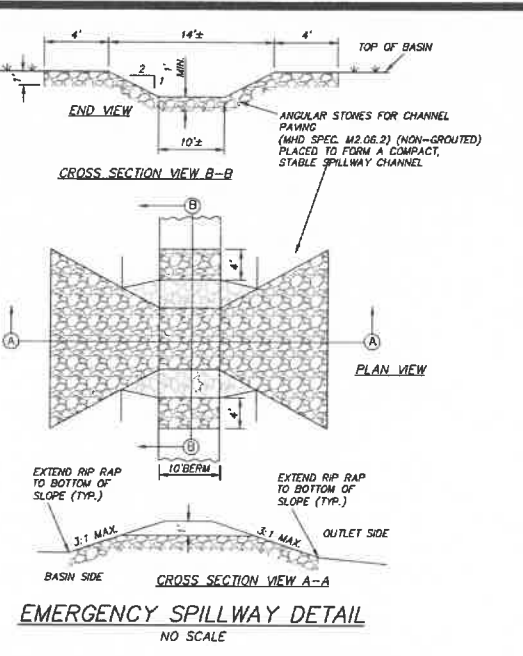
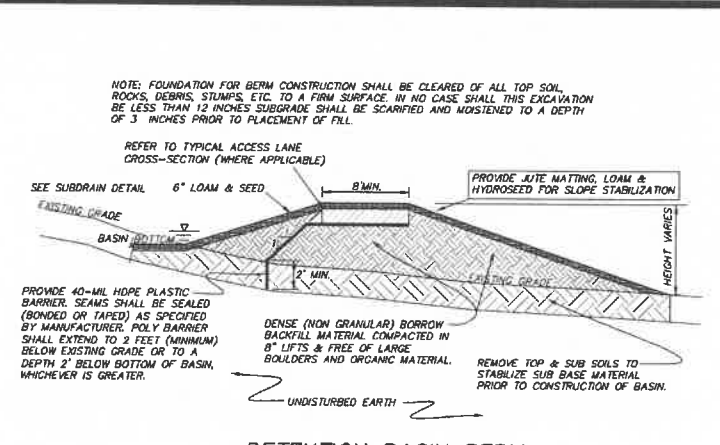
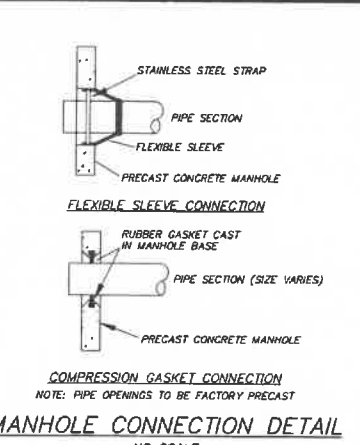
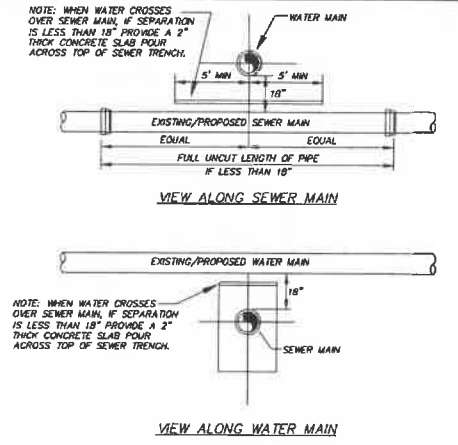
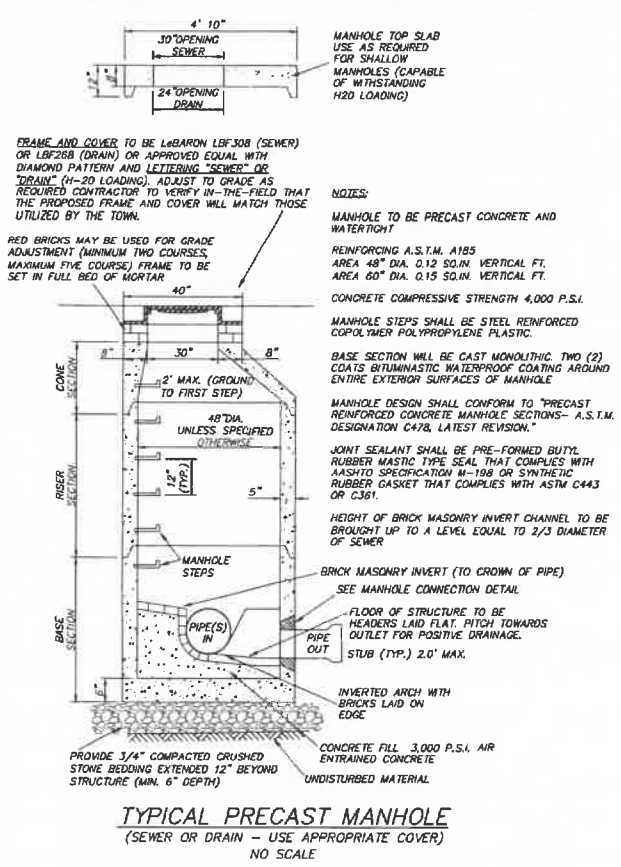
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8 MONUMENT SQUARE
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CONSTRUCTION DETAILS
 IN
LANCASTER, MASSACHUSETTS

PREPARED FOR:
 NORTH LANCASTER, LLC
 STEVE BOUCHER
 435 LANCASTER STREET
 LEOMINSTER, MASSACHUSETTS 01453
 TEL: 978-534-0816

CALC:	CMA/WDH	DRWN:	CMA/WDH	SCALE:	NA
CHKD:	WDH	APPD:	WDH	DATE:	MAR 26, 2021
SRV:	JEF	FB:	FILES	JOB NO:	2226
TAB:	(13) DET	SHEET:	13 OF 15	PLAN NO:	C-11-1



1	7/22/2021	PEER REVIEW COMMENTS	CMA/WDH
NO.	DATE	REVISIONS	BY

7/22/21

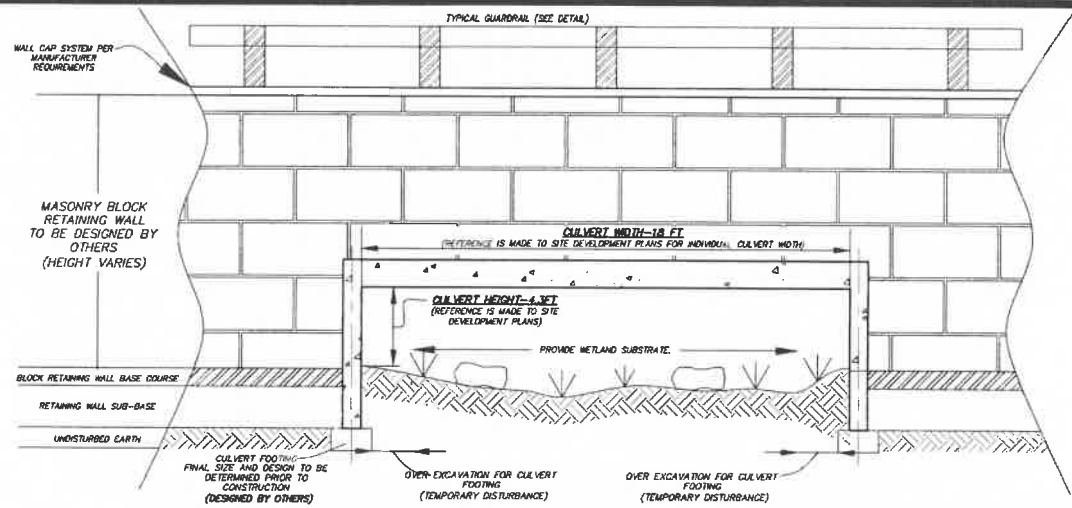
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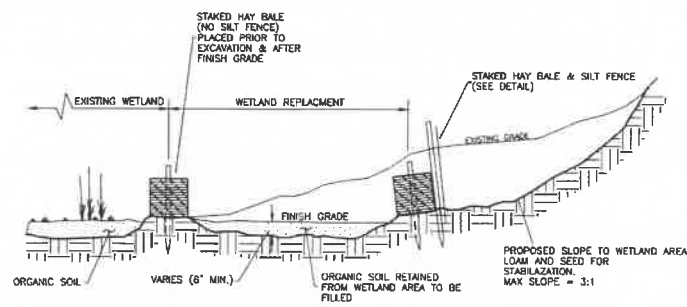
PREPARED FOR:
NORTH LANCASTER, LLC
STEVE BOUCHER
435 LANCASTER STREET
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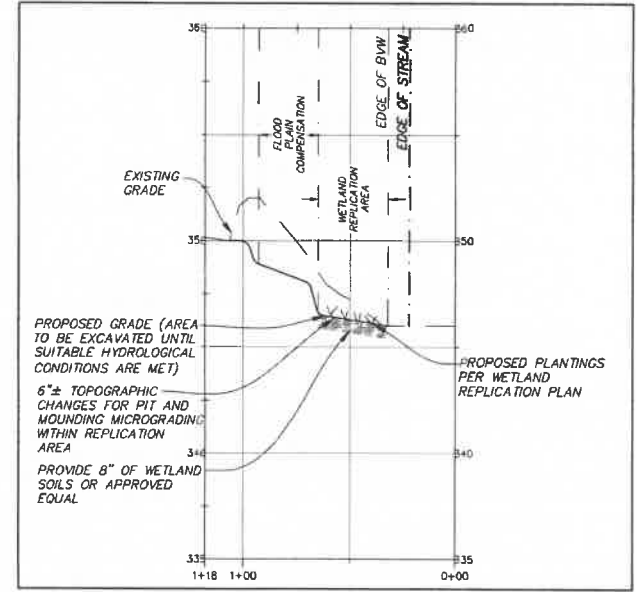
NOTE: CULVERT AND RETAINING WALLS ALONG WITH A ASSOCIATED FEATURES ARE DEPICTED IN A GENERAL MANNER AND ARE SUBJECT TO CHANGE RELATIVE TO STRUCTURAL AND MANUFACTURER REQUIREMENTS.

TYPICAL ROADWAY CULVERT DETAIL

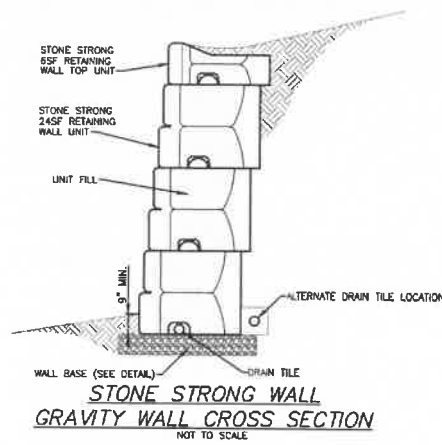


WETLAND REPLICATION DETAIL

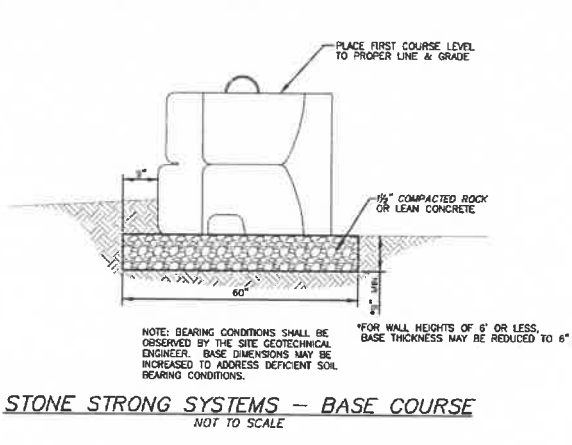
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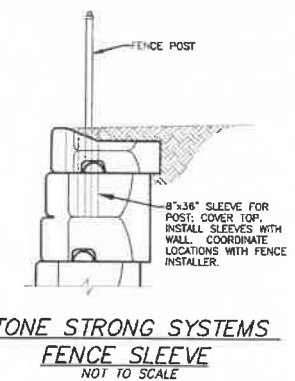
WETLAND REPLICATION PROFILE
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VERTICAL SCALE: 1: 4



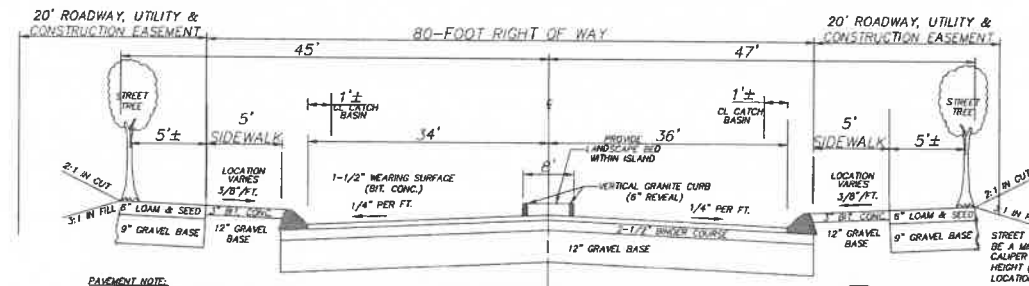
STONE STRONG WALL
GRAVITY WALL CROSS SECTION
NOT TO SCALE



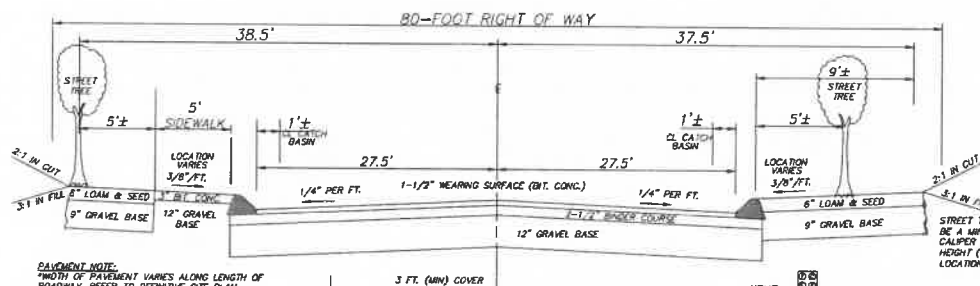
STONE STRONG SYSTEMS - BASE COURSE
NOT TO SCALE



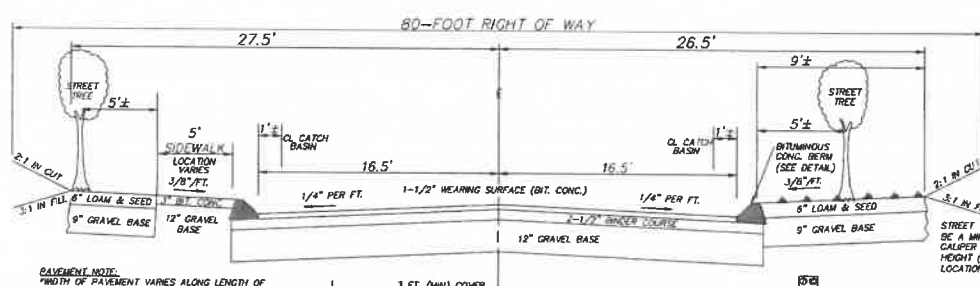
STONE STRONG SYSTEMS
FENCE SLEEVE
NOT TO SCALE



TYPICAL ROADWAY CROSS-SECTION AT 1+00
70FT WIDE - NO SCALE



TYPICAL ROADWAY CROSS-SECTION AT 7+50
59FT WIDE - NO SCALE



TYPICAL ROADWAY CROSS-SECTION 13+00
33FT WIDE - NO SCALE

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CALC:	CMA/WDH	DRWN:	CMA/WDH	SCALE:	NA
CHKD:	WDH	APPD:	WDH	DATE:	MAR 26, 2021
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