



Town of Lancaster
Planning Board
Lancaster, Massachusetts 01523

7:00 P.M., Monday, November 8, 2021
Revised Agenda
Remote Access Via Zoom

Join Zoom Meeting: <https://us02web.zoom.us/j/84087547646>

Meeting ID: 840 8754 7646

Meeting ID:

Administrative

1. Attendance Roll Call

Public Hearing

- 2. Five SAC Self-Storage Corporation (U-Haul), applicant, seeks approval for a Stormwater Permit under the requirements of the Town of Lancaster Stormwater Control Bylaw Section 170-5, and Stormwater Management Rules and Regulation Section 305-5.** The site is located 90 Duvall Road, (Map 3, Lot 2) and within the Enterprise Zone district and within the Integrated Planning Overlay District (IPOD). The regulated activity under the stormwater control bylaw is the disturbance of land greater than 1 acre. The applicant is conducting site improvements for a commercial use in association with a change in ownership of the land. (Continued from 10/25/2021)

Public Meeting

3. ANR-1930 Shirley Road

- 4. 40R Bylaw:** Review any material received regarding the proposed 40R bylaw and district under development by the Affordable Housing Trust: review any feedback from the Trust received by meeting time or hear from Trust members about the bylaw if they desire.
- 5. Review Violations and Active Orders:** Review and respond as appropriate to any new information received by meeting time and consider assessing fines where applicable for new or ongoing stormwater violations at:
- 201 Hilltop Road (Cease & Desist delivered, Awaiting Stormwater Permit Application)
 - 2038 Lunenburg Road (Cease & Desist delivered, resolution in progress)
 - 90 Duvall Road (Cease & Desist delivered, Stormwater Permit Application in progress)
 - Old Union Turnpike, Assessors Map 3 Parcel 4 (Cease & Desist delivered, town counsel engaged)

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6. **IPOD Bylaw Amendments:** Review proposed amendments to the IPOD bylaw, specifically changes proposed by the chair to allow all-business IPOD applications. Review feedback from Planning Board members and review any feedback from the Economic Development Committee received by meeting time. Take any action appropriate. (Continued from 9/13, 9/27 and 10/25)
7. **Discuss Homeowners Trust Required at Hawthorne Hills Subdivision, off Hilltop Road and George Hill Road:** update from the chair with info, if any, available at meeting time. (Continued from 10/25)
8. **Town Planner Search:** Review any available info on progress with the Town Planner search
9. **Discuss holiday meeting schedule:** Review anticipated regular meetings for remainder of the year, through the holidays: 11/22/2021, 12/13/2021, 12/27/2021, 1/10/2021
10. **Discuss suggestion from the chair to anticipate holding public hearings for Special Town Meeting zoning articles at the regular meeting on Monday, January 24th, 2021:** Chair will recommend we request the final text of any zoning articles be received by the Planning Board before our regular meeting on 12/27/2021. In anticipation of a February 15th Special Town Meeting the board could then schedule the necessary public hearings at our 12/27/2021 regular meeting, then post the hearings and advertise the hearings in the 1/7/2021 and 1/14/2021 papers.
11. **Discuss opportunities to update the Planning Board website and eCode.**
12. **Correspondence**
 - a. Email from James Broderick, 10/17/2021: Perkins Project Drainage Concerns
 - b. Email from Cara Sanford, 10/31/2021: "Orchard Hill Athletic"
 - c. Memo from Lancaster Historical Commission, 11/1/2021: "Property on Old Common Road currently under the control of the Massachusetts Department of Capital Management and Maintenance (DCAMM)"
13. **Vouchers**
14. **Review and Approve Minutes**
 - a. October 25th, 2021 @ 6PM (Regular Session)
 - b. October 25th, 2021 @ 6PM (Executive Session)
 - c. October 25th, 2021 @ 7PM

Adjourn

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*If you are interested in any of the agenda items, please contact Debra Dennis at ddennis@lancasterma.net to provide comments.

Link below for Town of Lancaster Remote Participation Guidelines

https://www.ci.lancaster.ma.us/sites/g/files/vyhlif4586/f/uploads/remote_participation_guidelines_2020_master.pdf

Join Zoom Meeting

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Bolton, MA 01740
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October 25, 2021

Russel W. Williston
Lancaster Planning Board
Prescott Building, Suite 4
701 Main Street
Lancaster, MA 01523

**Re: Peer Review - 90 Duval Road
Stormwater Permit- Third Party Review**

Dear Mr. Williston:

As requested by the Lancaster Planning Board, CEI has conducted a review of plans and associated documentation for the proposed commercial development of the property located at 90 Duval Road ("Site"). This review is based on the following:

- A "Stormwater Permit Management Application for the Town of Lancaster, MA" dated September 21, 2021, prepared by Land Design Collaborative.
- Drawings entitled "Stormwater Management Permit Application for 90 Duval Road, Lancaster, MA" dated September 21, 2021, prepared by Land Design Collaborative. The drawings include 5 sheets.
- A "Stormwater Management Report" dated September 2021, prepared by Land Design Collaborative.
- An environmental report dated August 26th 2021, prepared by Three Oaks Environmental.
- A visit to the Site conducted by CEI on October 19, 2021.

Note: The applicant did not file for a NPDES General Construction Permit (CGP) before construction activities and land disturbance activities commenced on the Site. Coverage under the CGP is required for all sites that will disturb more than one acre. There was more than one acre of observed land disturbance at the time of CEI's October 19th site visit.

CEI's review findings are provided below.

I. Applicability

The following Town of Lancaster regulations govern review of this application:

1. Chapter 305 “Stormwater Management Rules and Regulations”
2. Chapter 170, “Stormwater Control” Bylaw

Chapter 305 and Chapter 170 both require that all projects must meet the Massachusetts Stormwater Management Standards (310 CMR 10.05(6)(k)). This review focuses on meeting the requirements of these three regulations.

CEI understands that this is an active construction site and that the goal is to stabilize the site as soon as feasible to mitigate downgradient impacts to wetland resource areas. Because this is an active construction site, not all requirements of the aforementioned regulations apply to this review. The following review comments therefore focus on applicable requirements and guidance relative to installation of construction period Best Management Practices (BMPs), maintenance of construction period BMPs, and stabilization of an active construction site.

II. Review of Stormwater Management Plan Required by § 305-7

The Stormwater Management Plan does not appear to be applicable to this application.

III. Review of Erosion and Sediment Control Plan Required by § 305-8

The following items required by § 305-8 do not appear to have been provided by the Applicant. Recommended changes are listed in *italics*.

- 1) Maximize groundwater recharge (**§ 305-8 A (6)**).
 - a) *Describe how the proposed BMPs maximize groundwater recharge*
- 2) Institute interim and permanent stabilization measures, which shall be instituted on a disturbed area as soon as practicable but no more than 14 days after construction activity has temporarily or permanently ceased on that portion of the site (**§ 305-8 A**).
 - a) *Indicate the 14-day stabilization requirement on the Plans. Provide a clear description of “temporary” vs. “permanent” stabilization measures that will be implemented.*
- 3) Names, addresses and telephone numbers of the owner, applicant, and person(s) or firm(s) preparing the plan [**§ 305-8 B(1)**].
 - a) *Add phone numbers and name of owner and applicant to Plans.*

- 4) Drainage patterns and approximate slopes anticipated after major grading activities (construction phase grading plans) [**§ 305-8 B(8)**].
 - a) *Add drainage patterns and slopes to the Plans.*
- 5) Stormwater runoff calculations in accordance with the Department of Environmental Protection's Stormwater Management Policy [**§ 305-8 B(12)**].
 - a) *Add BMP sizing calculations. See below for specific recommendations for sizing.*
- 6) Location and description of and implementation schedule for temporary and permanent seeding, vegetative controls, and other stabilization measures.
 - a) *As noted below under Section V. 4 (Site Stabilization), the Plans do not specifically indicate which areas of the site will be stabilized and how they will be stabilized. It is assumed that all areas of the site are to be stabilized. More detail is needed on the Plans to specify which type of stabilization will be applied to each portion of the site. Consider potential alternative stabilization measures such as erosion control blanket if it becomes difficult to achieve vegetative stabilization by hydroseeding this late in the season.*
- 7) A description of construction and waste materials expected to be stored on site. The plan shall include a description of controls to reduce pollutants from these materials, including storage practices to minimize exposure of the materials to stormwater, and spill prevention and response [**§ 305-8 B(14)**].
 - a) *Add description of any construction and waste materials to be stored on site.*

IV. Stormwater Report

The only Stormwater Management Standard that appears to apply to this construction phase project is Standard 8. Standard 8 requires that a Construction Period Pollution Prevention Plan (CPPP) be developed to control construction-related impacts including erosion, sedimentation and other pollutant sources during construction and land disturbance activities. The following comments are provided for the CPPP:

- 1) Volume 1, Chapter 1 of the Massachusetts Stormwater Handbook requires that the CPPP include a narrative. Include a narrative in the CPPP that describes the project and identifies the part(ies) responsible for implementing the CPPP.
- 2) The CPPP does not include recommended maintenance measures for the erosion control blanket specified in the Plans.
- 3) The CPPP does not include recommended construction period maintenance measures for the "Stormwater Basin" specified on the Plans.

- 4) Volume 3 (Standard 8) of the Massachusetts Stormwater Handbook requires that computations be provided demonstrating that the sediment basin is able to store runoff from the 2-year, 24-hour storm or provide 3,600 cubic feet of storage per acre drained, whichever is larger. (*See comments below on the Stormwater Basin*).

V. Plans and Site Design

Additional comments are noted based on review of the Plans. The Massachusetts Stormwater Handbook requires that BMPs are designed in accordance with manufacturer specifications, good engineering practices, the Massachusetts Erosion and Sediment Control Guidelines (MA E&S Guidelines), or the EPA Construction General Permit, whichever is more stringent. The comments below are based on a combination of these requirements.

1) Stormwater Basin (i.e., Sediment Basin)

- a) The HydroCAD calculations provided indicate that the basin is undersized, based on the total acreage of the contributing drainage area (see item IV.4 above). The Stormwater Report provided states that Subcatchment S110P is 2.22 acres and contributes 8,390 cubic feet (cf) of runoff to the sediment basin during a 2-yr, 24-hour storm event. Page 12 of the provided HydroCAD calculations states that Pond P110P (sediment basin) provides only 2,293 cubic feet of total storage. It appears that both the bottom elevation of the basin and the outlet pipe invert at the southeastern corner of the basin are set at El. 415'. However, the outlet pipe on the northern end of the basin (P110 P) is inaccurately modeled within the HydroCAD calculations at elevation 416, rather than 415.5, potentially affecting the accuracy of the total storage volume provided.
- b) The Sediment Basin has only one defined inlet (i.e., "swale to Stormwater Basin") which will collect runoff from the southern portion of the site. Additional defined inlets into the sediment basin and/or diversion ditches would be needed to collect runoff from the southwestern side of the basin and dissipate velocity before entering the basin. The MA E&S Guidelines (p.138) recommend the use of diversion dikes as inlets into sediment basins. Additional energy dissipation measures at the inlet to the sediment basin should also be considered, such as a sediment forebay or stone filter ring.
- c) The MA E&S Guidelines (p.140) recommend a stormwater basin length-to-width ratio of 2:1 or greater, with length defined as the average distance from the inlet to the outlet. Inflow should be diverted to the upper end of the basin to avoid short-circuiting of flow. It appears that short-circuiting could be an issue with the proposed design.
- d) The Sediment Basin does not include an Outlet Control Structure. The MA E&S Guidelines (p. 140) recommend that a perforated riser structure be installed at the outlet of a sediment basin. Outlet control structures may also be surrounded with a stone filter ring and/or PVC skimmer for additional filtering of sediment-laden water prior to discharge. The Sediment

Basin outlet detail also does not appear to include an anti-seep collar as recommended by page 141 of the MA E&S Guidelines.

- e) The outlet pipe for the sedimentation basin is specified as CPE (type C), but the detail states that the trenching and pipework will be done with HDPE. CEI suggests revising the “HDPE Trench” detail to include an Outlet Control Detail as previously recommended.
- f) The “Detention Basin Detail” indicates that the Sediment Basin berm will be stabilized with loam and seed, but does not specify the seed mix. Stabilization will likely occur after the growing season (i.e., seeding may be ineffective). Provide provisions for winter stabilization options such as erosion control blanket.
- g) The Plans indicate that 12” Trap Rock Berms are to be installed. There is no detail provided for a Trap Rock Berm.
- h) On Sheet C-101 on the Plans, there is a “hatched” area at the northern outlet to the Sediment Basin. This hatching is not described on the Sheet C-101 or its legend, and it is unclear what is intended for this area.

2) Check Dams and Diversion Ditches

- a) The Plans include a detail for “Stone Check Dams” placed within a diversion ditch. It is recommended that a specific diversion ditch detail be created, including provisions for stabilization with measures such as erosion control blanket. Check dam spacing within the diversion ditch(es) should be specified on the Plans. The MA E&S Guidelines (p. 65) recommend that each diversion ditch with check dams should accept runoff from no more than 2-acres.

3) Perimeter Controls

- a) The Plans call for an “Additional Row of ECB”. However, there is no detail provided on Sheet C-401 for ECB. It is assumed that ECB corresponds to the detail for “Silt Fence with Strawbale”. Suggest renaming for consistency.
- b) According to the “Proposed Watershed Map” submitted with the Stormwater Report, there is large area along the northeastern perimeter of the site (“S100 P”) that will only be protected by a downgradient silt fence / hay bale combination. The MA E&S Guidelines (page 148) provide a maximum upslope distance above the silt fence based on site slope. The maximum distance on the plans exceeds these guidelines. Consider additional BMPs in this area to minimize the potential for silt fence failure.

4) Site Stabilization

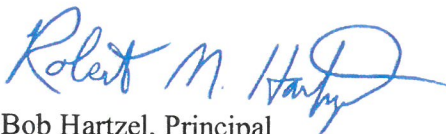
- a) The Plans do not specifically indicate which areas of the site will be stabilized and how they will be stabilized. It is assumed that all areas of the site are to be stabilized. More

detail is needed on the Plans to specify which type of stabilization will be applied to each portion of the site. Consider potential alternative stabilization measures such as erosion control blanket if it becomes difficult to achieve vegetative stabilization by hydroseeding this late in the season.

- b) Indicate on the Plans where “Slope Terracing” (i.e., soil roughening) will be used.
 - c) The “Slope Stabilization” detail provided by the plans does not include information on how to install the specified erosion control blanket (i.e., North American Green P300). Add more information to the detail including:
 - i) Where the blanket is proposed to be used.
 - ii) The staple pattern of the blanket.
 - iii) Specify a seed mix to apply with the erosion blanket. The detail indicates to see “landscaping plan for seed mix”. There is no landscaping plan associated with these Plans.
- 5) The Plans do not include a stabilized construction entrance or other measures to minimize off-site tracking of sediment.
- 6) The Plans do not include a wetland mitigation/restoration plan to address previous impacts to wetlands associated with discharge of sediment from the Site. A proposed wetland mitigation plan should be submitted for review to the Lancaster Conservation Commission.

If you have any questions or comments regarding this report, please contact Bob Hartzel at 508-281-5160 or rhartzel@ceiengineers.com.

Sincerely,



Bob Hartzel, Principal
Comprehensive Environmental, Inc.

Site Inspection Report



To: Lancaster Conservation Commission and Lancaster Planning Board
From: Bob Hartzel, Comprehensive Environmental Inc. (CEI)
Re: 90 Duval Road
Date: October 29, 2021

CEI conducted an inspection of ongoing site stabilization activities at 90 Duval Road (the Site) on October 29, 2021. Michael Scott of Land Design Collaborative (LDC) accompanied Bob Hartzel of CEI during the site inspection. Prior to the site inspection, CEI staff (Bob Hartzel and David Roman) and LDC staff (Michael Scott and James Alamonte) participated in a virtual meeting to discuss CEI's peer review letters for the Site, ongoing stabilization work at the Site, and potential stabilization design features that LDC may incorporate into the pending responses to the peer review letters.

A summary of the site inspection is provided below.

1. Ongoing Site Stabilization Activities

The Applicant's site stabilization contractor was on site and actively working to begin stabilization at the time of the inspection. CEI's observations with regard to progress and condition of specific stabilization practices are as follows:

- **Hydroseed/Mulch:** A hydroseed/mulch mixture had been sprayed on a large portion of the site at the time of the inspection, predominantly in the areas upgradient of the stormwater basin and wetland buffer zone area. CEI and LDC discussed that it is likely too late in the season to expect much of the seed to germinate. As shown in Photo 1, the application of mulch associated with the hydroseed was thin and patchy in many areas. CEI recommends that this mulch will not provide adequate soil stabilization in areas where no other measures are currently in place or specified on the plans (i.e., all areas upgradient of the stormwater basin/buffer zone area). Additional stabilization measures should be installed in these areas.

CEI notes that the site plans do not provide a specific detail for hydroseeding on Sheet 401, and this is recommended. However, the "Slope Stabilization" detail on sheet C-401 of the site plans specifies "*Prepare surface by running tracked equipment up and down the slope, then apply hydroseed.*" As shown in Photo 1, it appears that hydroseed was applied in most areas with no surface preparation.

- **Erosion Control Blanket:** Erosion control blanket was being installed at the time of inspection in the vicinity of the stormwater basin and wetland buffer zone. However, the blanket was not installed in accordance with the "Slope Stabilization" detail provided on sheet C-401 of the site plans. This detail specifies an erosion control blanket and includes the note mentioned above regarding surface preparation and hydroseeding. It appears that the blanket was applied in most areas without surface preparation and in some areas without prior hydroseeding (see Photos 2 and 3). Because of the rough, ungraded surface, ground contact with the blanket was generally poor. These conditions will tend to limit the effectiveness of the blanket and are not in conformance with the manufacturer recommendations.
- **Silt Fence with Straw Bale:** CEI inspected the silt fence/straw bale controls installed at the Site. CEI notes that the silt fence/straw bale controls have been installed incorrectly with regard to both standard practice and the detail shown on sheet C-401, which indicates that the straw bales should be installed in the downslope side of the fence. As shown in Photo 4, the strawbales are installed on

the upgradient side of the fence. CEI additionally notes that the straw bales along the row of fencing adjacent to the wetland boundary are in poor condition and should be replaced.

2. Other General Notes

- Significant rainfall earlier in the week resulted in apparent discharge of sediment to adjacent wetlands. Evidence of this discharge was observed as a fine layer of silt/sediment on top of leaf litter in the area (see Photo 5), which was not observed during CEI's site visit on October 19, 2021.
- CEI and LDC discussed the need for additional stabilization measures in the vicinity of wetland flag W20. A berm currently exists just upgradient of the wetland boundary (stumps and earthen material pulled away from the wetland boundary by previous contractor). Until this material is removed, the outfall of the proposed construction-phase stormwater basin cannot discharge with the intended flow path. It appears that the berm will result in a concentrated flow path that will discharge to the wetland near flag W20. Temporary stabilization/outfall protection measures should be added to ensure protection of the wetland in this area (Photo 6).
- Some areas of the Site that have been hydroseeded have very steep slopes and are at high risk of erosion. These areas should be graded to flatten the slopes prior to stabilization. (Photo 7)



Photo 1: Hydroseed/mulch was applied, but had patchy ground coverage and was applied without surface preparation. The mulch is not expected to provide adequate stabilization for disturbed areas where no other measures are currently proposed. It is likely too late in the season to expect much of the seed to germinate.

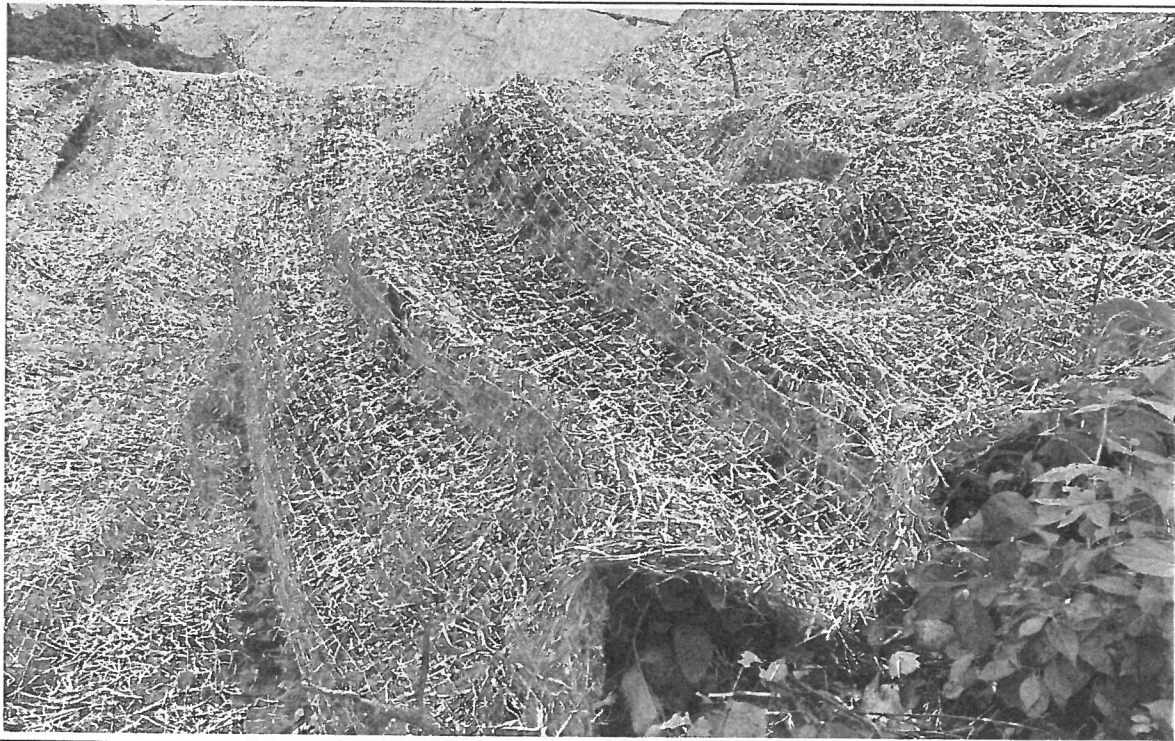


Photo 2: Erosion control blanket installed without prior surface preparation, resulting in inadequate surface contact.



Photo 3: Erosion control blanket being installed in the wetland buffer zone area without prior surface preparation or hydroseeded. Areas upgradient of the silt fence (upgradient of the buffer zone) have only been hydroseeded.



Photo 4: Silt fence/straw bale controls have been installed incorrectly, with strawbales on the upgradient side of the fence instead of the downgradient side as specified in the plans. Straw bales along the fence line in the photo (adjacent to wetland boundary) are in poor condition and should be replaced.



Photo 5: Evidence of apparent sediment discharge to adjacent wetlands observed on leaf litter near wetland flag W2.



Photo 6: View from wetland area near flag W20, towards point of discharge resulting from presence of berm. This area is currently protected only by several staked straw bales.

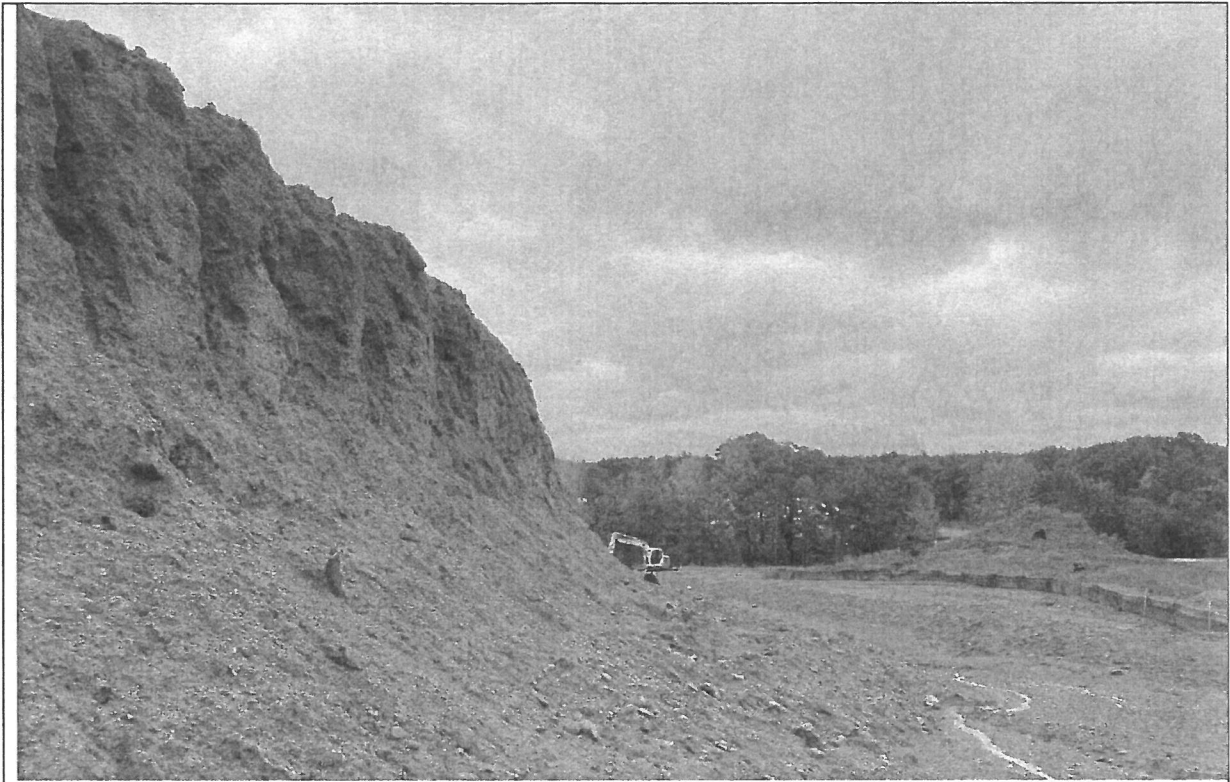


Photo 7: Area in western part of the Site with very steep slopes and at a high risk of erosion. Such areas should be graded to flatten the slopes prior to stabilization.



Photo 8: View southeast across the southern portion of the Site.

PLANT SCHEDULE

QTY	KEY BOTANICAL NAME	COMMON NAME	SIZE	ROOT
1	AQUILA	White Birch	2.5 FT. H.	1.5 B.B.
2	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
3	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
4	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
5	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
6	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
7	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
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16	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
17	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
18	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
19	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
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36	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
37	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
38	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
39	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
40	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
41	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
42	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
43	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
44	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
45	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
46	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
47	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
48	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
49	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.
50	FRAXINUS	White Birch	2.5 FT. H.	1.5 B.B.



Wildflower Mix

1 pond will cover .000 sq. ft. @ .000 seeds per sq. ft.

The primary difference between this and ordinary wildflower mixes are commonly used species that are native to the area and the inclusion of species that are native to the area.

Plantings for the subject lot are located on the site plan. The site plan shows the location of the plantings and the location of the pond.

Percent By Seed Weight	Scientific Name	Common Name
25.0%	<i>Asclepias tuberosa</i>	Butterfly Milkweed
15.0%	<i>Coreopsis grandiflora</i>	Common Coreopsis
10.0%	<i>Erigeron phillyria</i>	Wild Chrysanthemum
10.0%	<i>Helianthus scaberrimus</i>	Scarlet Chrysanthemum
10.0%	<i>Leucanthemum vulgare</i>	White Chrysanthemum
10.0%	<i>Rudbeckia hirta</i>	Black-eyed Susan
10.0%	<i>Solidago canadensis</i>	Canada Goldenrod
10.0%	<i>Thalictrum flavum</i>	Yellow Black-cockle
10.0%	<i>Verbena stricta</i>	Black Verbena
10.0%	<i>Zizia aurea</i>	Black Swallowtail

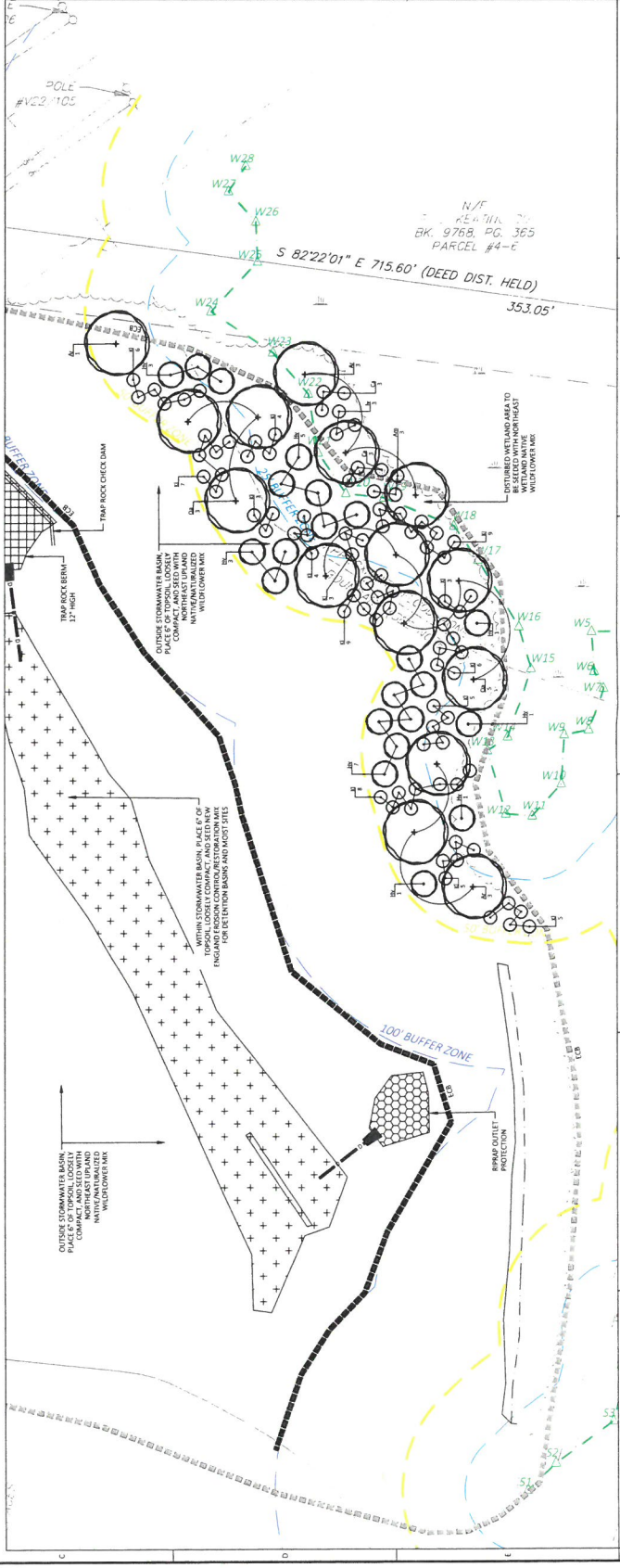
Northeast Upland Native/Naturalized Wildflower Mix

1 pond will cover .000 sq. ft. @ .000 seeds per sq. ft.

The primary difference between this and ordinary wildflower mixes are commonly used species that are native to the area and the inclusion of species that are native to the area.

Plantings for the subject lot are located on the site plan. The site plan shows the location of the plantings and the location of the pond.

Percent By Seed Weight	Scientific Name	Common Name
20.0%	<i>Asclepias tuberosa</i>	Butterfly Milkweed
15.0%	<i>Coreopsis grandiflora</i>	Common Coreopsis
10.0%	<i>Erigeron phillyria</i>	Wild Chrysanthemum
10.0%	<i>Helianthus scaberrimus</i>	Scarlet Chrysanthemum
10.0%	<i>Leucanthemum vulgare</i>	White Chrysanthemum
10.0%	<i>Rudbeckia hirta</i>	Black-eyed Susan
10.0%	<i>Solidago canadensis</i>	Canada Goldenrod
10.0%	<i>Thalictrum flavum</i>	Yellow Black-cockle
10.0%	<i>Verbena stricta</i>	Black Verbena
10.0%	<i>Zizia aurea</i>	Black Swallowtail



Northeast Wetland Native Wildflower Mix

1 pond will cover .000 sq. ft. @ .000 seeds per sq. ft.

This mix is used for wetland areas that are open and unshaded. The plants are native to the area and are commonly found in wetland areas.

Plantings for the subject lot are located on the site plan. The site plan shows the location of the plantings and the location of the pond.

Percent By Seed Weight	Scientific Name	Common Name
20.0%	<i>Asclepias tuberosa</i>	Butterfly Milkweed
15.0%	<i>Coreopsis grandiflora</i>	Common Coreopsis
10.0%	<i>Erigeron phillyria</i>	Wild Chrysanthemum
10.0%	<i>Helianthus scaberrimus</i>	Scarlet Chrysanthemum
10.0%	<i>Leucanthemum vulgare</i>	White Chrysanthemum
10.0%	<i>Rudbeckia hirta</i>	Black-eyed Susan
10.0%	<i>Solidago canadensis</i>	Canada Goldenrod
10.0%	<i>Thalictrum flavum</i>	Yellow Black-cockle
10.0%	<i>Verbena stricta</i>	Black Verbena
10.0%	<i>Zizia aurea</i>	Black Swallowtail

Three Oaks Environmental
 P.O. Box 404 Hubbardston, MA 01452
 508.952.8300 | LDCcollaborative.com

Project Location:
 U-Haul Moving & Storage
 of West Springfield
 380 Union Street
 West Springfield, MA 01099

Project Title:
 RESTORATION PLANTING PLAN

Local Permits:
 No. Date: _____
 Revision: _____
 Drawn By: _____
 Date: 10/25/2021 | Project No.: 21-0208
 Scale: 1" = 20'

Sheet No.:
 L-101



Town of Lancaster, Massachusetts
Office of Community Development and Planning

LANCASTER PLANNING BOARD
FORM A

**Application for Endorsement of
Plan Believed not to Require Approval (ANR)**

1. File one (1) completed form with the Planning Board and one copy with the Town Clerk.
 - Plan provided to the Planning Board on: _____
 - Form A provided to the Town Clerk on: _____

2. Requisite submittals:
 - (4) sets of plans and (1) mylar (full-size, 32" x 24") with locus
 - (1) 11x17 copy of plans
 - (1) Electronic copy of plans
 - ANR application fee of \$100 plus \$50 per lot

To the Planning Board:

The undersigned, believing that the division of property as shown on the accompanying plan does not constitute a subdivision within the meaning of the Subdivision Control Law, hereby requests an endorsement thereon that Planning Board approval under the Subdivision Control Law is not required.

1. Name of Applicant Scott Young & Nicole Visaggio
Address 1930 Shirley Road, Lancaster, MA
2. Name of Surveyor Dillis & Roy Civil Design Group, Inc. Stanley R. Dillis, PLS
Address 1 Main Street, Suite 1, Lunenburg, MA 01460
3. Deed of property recorded in Worcester Registry, Book 52853 Page 254
43208 141
4. Location and Description of Property Westerly side of Shirley Road identified as assessor map 5 parcels 29 & 29A
5. Proposed use of land if other than single-family residence _____
6. Number of lots shown on plan Two, Plan creates Parcel A which is to be combined with existing Lot 2

Signature of Owner

Handwritten signature: Stanley R. Dillis

Current

Address

57 Page St Lunenburg, MA 01462

Applicants
Nicole +
Scott

Handwritten signature: Nicole Visaggio

Handwritten signature: Scott Young

If it is not obvious, please indicate the grounds on which you believe your plan not to be a subdivision (either A, B, or C) (cannot be a combination).

Lot Numbers

A. Each lot on the plan or altered by it meets one of these criteria:

1. Has all the frontage required under zoning on:

(a) A public way, or

(b) A way which the Town Clerk certifies is maintained and used as a public way, or

(c) A way shown on a plan approved and endorsed earlier by the Planning Board under this law, or

(d) A way in existence prior to and which the Board finds adequate for the way's proposed use, or

(e) A way shown on a plan of a subdivision registered in the Land Court prior to

2. Has been clearly marked on the plan to be either:

(a) Joined to and made a part of an adjacent lot, or

(b) "Not a building lot".

Parcel A

Existing Lot 2 is pre-existing, non-conforming. Plan does not increase the degree of non-conformance.

B. Each lot on the plan contains a building which existed prior to

C. The plan simply describes already existing parcels with no new lot divisions.

In order to be considered by the Board, such plans shall show all of the following:

(1) A locus plan of the land showing its total configuration in relation to surrounding streets and to abutting boundaries at two inches equals 1,000 feet.

(2) Any existing structures on the land shown on the plan and dimensions of yards relating to such structures.

(3) Any existing structures on any remaining adjoining land owned by the applicant and dimensions of yards relating to such structures, if such structure is within 50 feet of a property line being created.

(4) Indication of remaining frontage of any adjoining land in the same ownership.

(5) Present owner of the land shown on the plan, and all abutting owners; and

(6) Location of any easement or way, public or private, across the land, with a designation as to the use of the same.

(7) A notation, as appropriate, indicating all lots or parcels shown on the plan that are not buildable lots.

REVENUE CERTIFICATION

Application/Petition/Appeal of:

- 1. **Applicant:** Scott Young & Nicole Visaggio

- 2. **Owner:** Scott Young & Nicole Visaggio, Michael Barrett

- 3. **Property:** _____
Assessors Map 5 **Parcel** 29 & 29A

Pursuant to M.G.L. c. 40D, Section 57, and the General By-Laws of the Town of Lancaster, the undersigned applicant hereby certifies as follows:

- 1) The following named persons, firms or corporations constitute the complete list of all parties having an ownership or proprietary interest in the property or use subject to the above-entitled application.

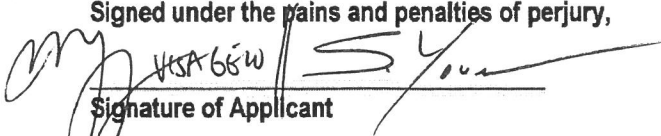
- 2) Each of the below listed parties have complied with the laws of the Commonwealth of Massachusetts and the Town of Lancaster in that they have not neglected or refused to pay any local taxes, fees, assessments, betterments, or other municipal charges for not less than a twelve-month period.

OWNER: Scott Young & Nicole Visaggio (Map 5, Parcel 29A), Michael Barrett (Map 5, Parcel 29)

APPLICANT: Scott Young & Nicole Visaggio

OTHER:

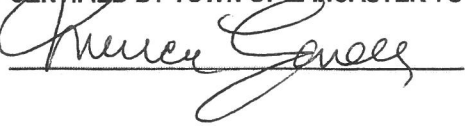
Signed under the pains and penalties of perjury,



Signature of Applicant

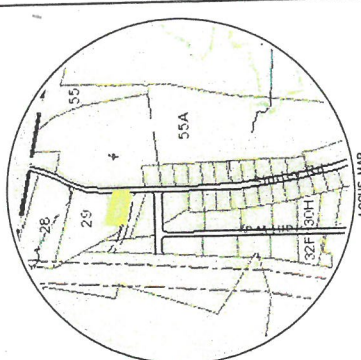
DATED: 9/29/21

CERTIFIED BY TOWN OF LANCASTER TOWN COLLECTOR



DATED: 10-26-21





**PLAN OF LAND IN
LANCASTER, MASSACHUSETTS**

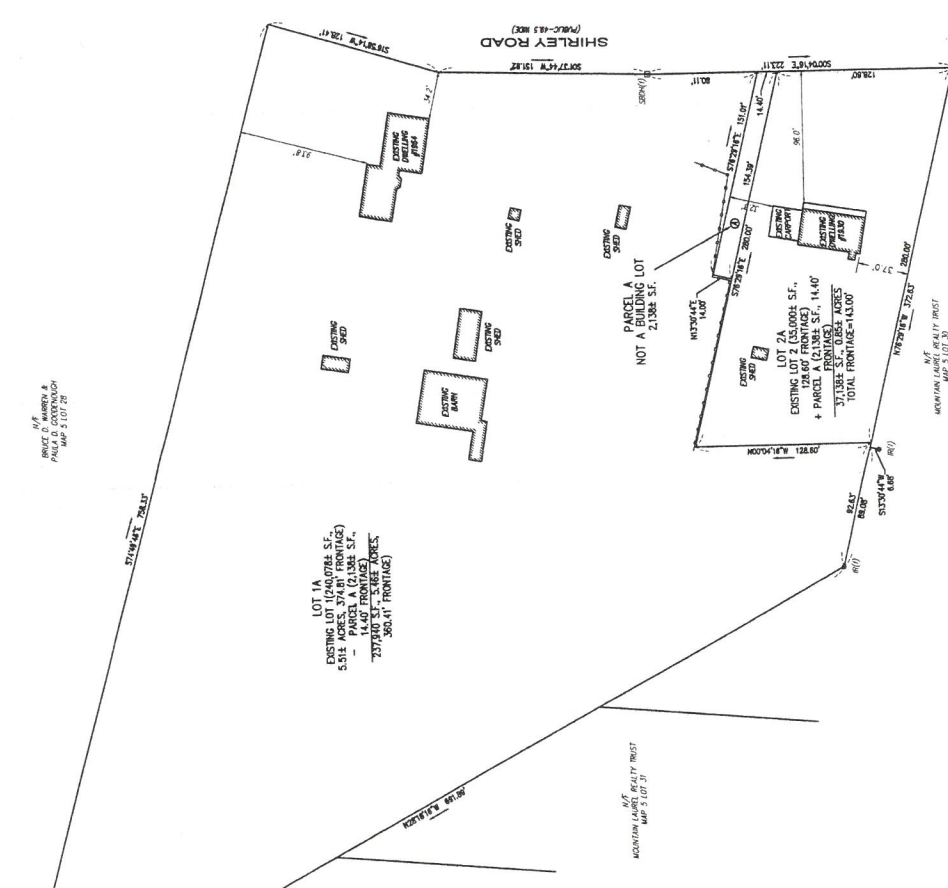
DATE: SEPTEMBER 9, 2021 | SCALE: 1 in. = 40 ft.
 OWNER: NICOLE WILGOSZ & SCOTT YOUNG | 208 RD.
 1000 SHIRLEY ROAD | LANCASTER, MA 01904-4000
 DPC NO. 6869-AMC

**DILLIS & ROY
CIVIL DESIGN GROUP**

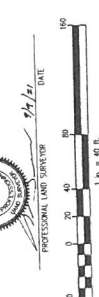
CIVIL ENGINEERS | LAND SURVEYORS | METEOROLOGICAL CONSULTANTS
 1000 SHIRLEY ROAD | LANCASTER, MA 01904
 PHONE: (978) 779-6091
 WWW.DILLISROY.COM

LEGEND

PROPOSED DRIVE	DRAWING ENTITY
EXISTING DRIVE	38%
STONE ROAD MARKER	38%



I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS



RECORD OWNER:
 NICOLE WILGOSZ & SCOTT YOUNG
 1000 SHIRLEY ROAD
 LANCASTER, MA 01904-4000

DEED REFERENCES:
 BK 31585 PL 29A
 BK 41258 PL 141
 MAP 5 PARCELS 29A
 MAP 5 PARCELS 29

PREPARED FOR:
 NICOLE WILGOSZ & SCOTT YOUNG
 1000 SHIRLEY ROAD
 LANCASTER, MA 01904-4000

PLAN REFERENCES:
 PLAN BOOK 309 PGS 84
 PLAN BOOK 309 PGS 84

ZONING DISTRICTS: R-RESIDENTIAL

ASSISTING MAP 5 PARCELS 29 & 29A

NOTES:
 THE PURPOSE OF THIS PLAN IS TO COMBINE PARCEL A WITH LOT 2 TO CREATE ONE LOT

RECEIVED FOR REGISTRY USE

APPROVAL NOT REQUIRED UNDER THE SUBDIVISION CONTROL LAW
 LANCASTER PLANNING BOARD

DATE: _____

Article __
IPOD Bylaw Amendments
Planning Board

To see if the Town will vote to adopt amendments to Section 220-8.7 of the Lancaster Zoning Bylaws as follows:

1. To the end of the existing Section 220-8.7 A. (1), which reads

"The intent of § 220-8.7, Integrated Planning Overlay District (IPOD), is to provide design flexibility and efficiency in the siting of development, services and infrastructure; conserve open space; preserve the rural, historic character of the Town; provide for a diversity of lot sizes, building densities and housing choices to accommodate a variety of age and income groups; and to allow the integration of land for residential, rural, recreational, community, retail, service, commercial and industrial uses."

append

"IPODs will primarily promote the use of land in the designated areas for neighborhoods that carefully integrate both residential and business uses; IPODs will also allow the town to consider business-only projects that extend into the residential zone, in cases where careful review shows that abutting neighborhoods will be appropriately protected."

2. Amend the existing 220-8.7 B (1), which reads

"Development under IPOD provisions requires special permit approval of an Integrated Plan by the Planning Board for the premises involved. The Planning Board must find that there is no material impact to the neighborhood."

by striking the final sentence:

"The Planning Board must find that there is no material impact to the neighborhood."

3. Amend the existing 220-8.7 B. (5) (b) which reads:

"Retail, service, and office uses permitted or allowed by special permit in the Enterprise District are allowed within an Integrated Plan regardless of whether the Integrated Plan includes any portion of the Enterprise or other district allowing that use, provided that no enterprise allowed only by this exception may exceed 35,000 gross square feet in floor area unless the Planning Board, in acting on the Integrated Plan special permit, finds that the use is functionally supportive of or supported by other existing or planned

uses within the Integrated Plan, and in no event may the enterprise exceed 75,000 gross square feet in floor area or be contained within a building that exceeds 75,000 gross square feet in floor area."

by striking the final requirement:

", and in no event may the enterprise exceed 75,000 gross square feet in floor area or be contained within a building that exceeds 75,000 gross square feet in floor area"

4. Replace the existing 220-8.7 B. (6) which reads

"Residential uses shall comprise not less than 25% and not more than 75% of the gross floor area planned within any Integrated Plan."

with

"Residential uses shall comprise not more than 75% of the gross floor area planned within any Integrated Plan."

5. Amend the existing 220-8.7 D which reads

"Phasing. Any Integrated Plan involving a total of more than 1,000,000 square feet gross floor area summed over all buildings proposed must be developed in stages of not more than 600,000 square feet gross floor area each. Prior to initiation of development in the second phase, a report must be submitted to the Planning Board providing data on the following development outcomes to that point, together with comparisons with the outcomes anticipated in the application materials and resulting special permit."

to replace

"...must be developed in stages of not more than 600,000 square feet gross floor area each"

with

"...must be developed in stages that must be identified in the integrated plan submitted with the IPOD application."

6. Amend the existing 220-8.7 C. (3) which reads

"The maximum number of allowable dwelling units within an Integrated Plan shall not exceed 15 dwelling units per acre of lot area, including lot area devoted to nonresidential uses, but exclusive of streets. The Integrated Plan shall document how that allowable total is to be distributed among lots within the Plan, including documentation of the minimum lot area per dwelling unit on each proposed lot, which may vary among locations within the Plan."

to replace

“The maximum number of allowable dwelling units within an Integrated Plan shall not exceed 15 dwelling units per acre of lot area”

with

“The maximum number of allowable dwelling units within an Integrated Plan shall not exceed 1 dwelling unit per acre of lot area”

Summary: *The Lancaster IPOD Bylaw, section 220-8.7, was approved at the 2012 Annual Town Meeting and last amended in 2017. It permits the town to designate “IPOD” overlay districts in which a developer may apply for a special permit to build mixed-use projects with special requirements.*

These amendments would:

1. *Amend the intention to reflect the changes requested.*
2. *Remove an ambiguous requirement that “...there is no material impact to the neighborhood.”*
3. *Remove the requirement that Enterprise Zone uses outside of that zone not exceed 75,000 gross square feet.*
4. *Remove the requirement that at least 25% of the gross floor area on a master plan be residential.*
5. *Replace the requirement that plans larger than 1,000,000 gross square feet break the project in phases no larger than 600,000 square feet with a looser requirement that they be broken into phases to be approved.*
6. *Reduce the maximum number of allowable dwelling units per acre of plan lot area to 1 unit per acre of lot area, as it was prior to amendment in 2017.*

#9
10

November 8th, 2021

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**To: Lancaster Select Board
Lancaster Affordable Housing Trust
Lancaster Economic Developer Committee
Other Boards or Individuals Preparing Zoning Bylaws and Amendments**

Re: Preparations for anticipated February 15th, 2021 Special Town Meeting

All who may be preparing zoning bylaws for the Special Town Meeting,
At their November 1st, 2021 meeting the Select Board indicated intentions to hold a Special Town Meeting on February 15th, 2021. The Planning Board anticipates holding public hearings for several zoning articles to prepare for that meeting.

The Planning Board requests that any board or resident who anticipates proposing a Zoning Bylaw or Zoning Bylaw amendment at that Special Town Meeting submit the final text to the Planning Board prior to our regular meeting at 7PM on December 27th, 2021.

This will allow the Planning Board to schedule, post and advertise a public hearing that meets the state's requirements.

If you wish to discuss your article with the Planning Board prior to finalizing it, we anticipate meeting on Monday, 11/22 and Monday, 12/13. Both meetings will be held via "Zoom" at 7PM.

On behalf of the Lancaster Planning Board,

Russell Williston, Chair

Debra Dennis

From: JAMES BRODRICK <brodrick1@comcast.net>
Sent: Thursday, October 21, 2021 4:46 PM
To: syoung@perkinschool.org; Debra Dennis
Subject: Re: FW: Perkins Project Drainage Concerns
Attachments: perkins drainage 4.jpg; perkins drainage 2.jpg

Follow Up Flag: Follow up
Flag Status: Completed

Categories: planning

Hi Steve,

I was disappointed to read your response to my email concerning the drainage from your newest project. I am forwarding a copy of the site plan (color enhanced) showing the topographical elevations that were discussed at the original planning board meeting. The elevations would allow the runoff to proceed from the green to the blue and finally to pink. As you see, the drainage would flow onto the corner of my property. I was assured at the original planning meeting that this would not occur and yet from my observations of the final grading, the elevations have not changed. Your indication that Pinfeather Lane was relocated and the original pavement was removed and replaced with lawn has created a slope that pitches directly to the corner of my property. In addition the slope of your backyard also pitches to my corner. I was told that this would not occur. I am very disappointed to find out that my trust in your commitment to preventing impact onto my property has been ignored. I do not want to be a retention pond for your runoff.

James Brodrick
 280 Harvard Road
 Lancaster, MA
 (978)391-9181

On 10/21/2021 2:14 PM Steve Young <syoung@perkinschool.org> wrote:

Hi Jim,

On your walk you likely noticed that the relocated section of Pinfeather Lane (running between Harvard Road and the back of the Manor building) directs rainwater hitting it eastward toward Harvard Road and away from your property. Likewise, the residence's driveway and parking area direct any rainfall hitting it toward the south away from your property.

Your photos titled "berm 1" and "berm 3" show a prominence covering ledge that's been there for millennia. I believe this is the berm/slope you refer to. We did not raise the height of this at all, in fact, we carved into the left (east) edge of this prominence near the blue SUV in the photos and in doing so

reduced the highest point of it, in turn reducing any runoff in your direction. In my tenure here I've never seen any water runoff from this prominence. Your photo "berm 4" shows the area where we removed several thousand square feet of impermeable road surface near your property and replaced it with permeable lawn thereby reducing any storm water runoff in this area. We did not raise the elevation or create a berm in this area.

I'm forwarding your email to our civil engineer who can accurately identify topography before and after road and building construction work in the vicinity of the project. Hopefully, he can address any concerns you've raised.

Overall, we believe we've significantly reduced any water flow toward your property as well moved traffic and associated noise away from it.

Best,

Steve

Steven D. Young (he/him/his)

Vice President of Facilities and Technology

Office: 978/368-6445 Cell: 774/287-7434 | Email: syoung@perkinschool.org



Perkins | 971 Main Street | Lancaster, MA 01523

RFK Children's Action Corps | 120 Old Common Road | Lancaster, MA 01523

www.perkinsprograms.org | www.rfkchildren.org

From: JAMES BRODRICK [mailto:brodrick1@comcast.net]
Sent: Sunday, October 17, 2021 8:21 PM
To: Steve Young <SYoung@perkinschool.org>; ddennis@lanasterma.net
Subject: Perkins Project Drainage Concerns

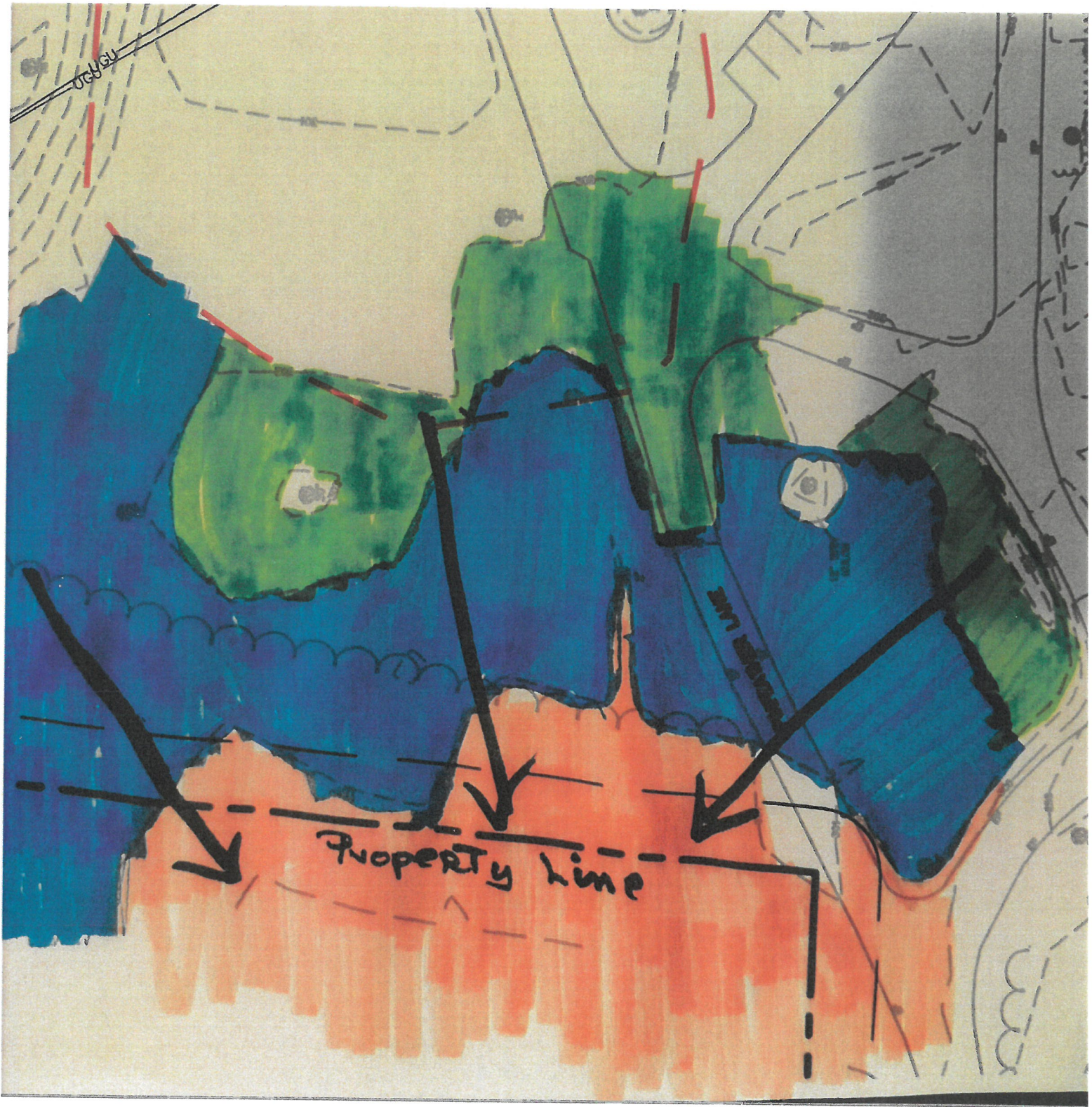
Dear Steve and Debra,

Prior to the project at Perkins beginning, my wife and I had questions concerning drainage onto our property with the building of the new dormitory, since the Pappas Building caused some issues. We attended a virtual Planning Board Meeting to discuss these concerns and were assured that the grading with prevent runoff onto our property.

On a recent walk through the Perkins property, we noticed that there is a substantial berm/slope on the rerouted Pinfeather Lane that directs the water to our back property line.

I have attached two pictures to show what we are talking about. We are VERY concerned with the water impact on our property.

Marianne and Jim Brodrick





Property Line

Weather Line

Correspondence
11/8 PB
12B

Debra Dennis

From: Russ Williston <russwillistonpublic@gmail.com>
Sent: Sunday, October 31, 2021 12:03 PM
To: Debra Dennis
Cc: Roy Mirabito (rsmirabitopb@gmail.com); Tom Christopher (tom.christopher@comcast.net); Peter Christoph; Carol Jackson; Greg Jackson; Cara Sanford
Subject: Fwd: Orchard hill athletic

Hi Deb,

Can you add this to the PB correspondence for our 11/8 meeting? Thank you.

----- Forwarded message -----

From: Cara **SANFORD** <carasanford@comcast.net>
Date: Sun, Oct 31, 2021 at 8:16 AM
Subject: Orchard hill athletic
To: Russ Williston <russwillistonpublic@gmail.com>, tom.christopher@comcast.net <tom.christopher@comcast.net>, rsmirabito <rsmirabito@verizon.net>, crosstone@hotmail.com <crosstone@hotmail.com>, gwjwi@aol.com <gwjwi@aol.com>

dear planning board members,

I'm asking that, if our current stormwater bylaw regs allow for it, that the Orchard Hill Athletic complex be reviewed for adequacy of stormwater treatment. I'm pretty sure that they have added impervious surface in expanding their parking footprint since our 2007 bylaw passed and that there is no current system to manage stormwater. Meanwhile, the current remediation evaluation and work at the U-Haul site that abuts suggests significant situation and water velocity issues emanating from the Site. Thank you for mulling over my request. Cara

--
This is the email address that I use for public business. When writing or responding, you should be aware that the Massachusetts Secretary of State's Office has determined that email is a public record and not confidential and that messages with this address are a public record that's available on request.



Orchard Hill Athletic impervious surface

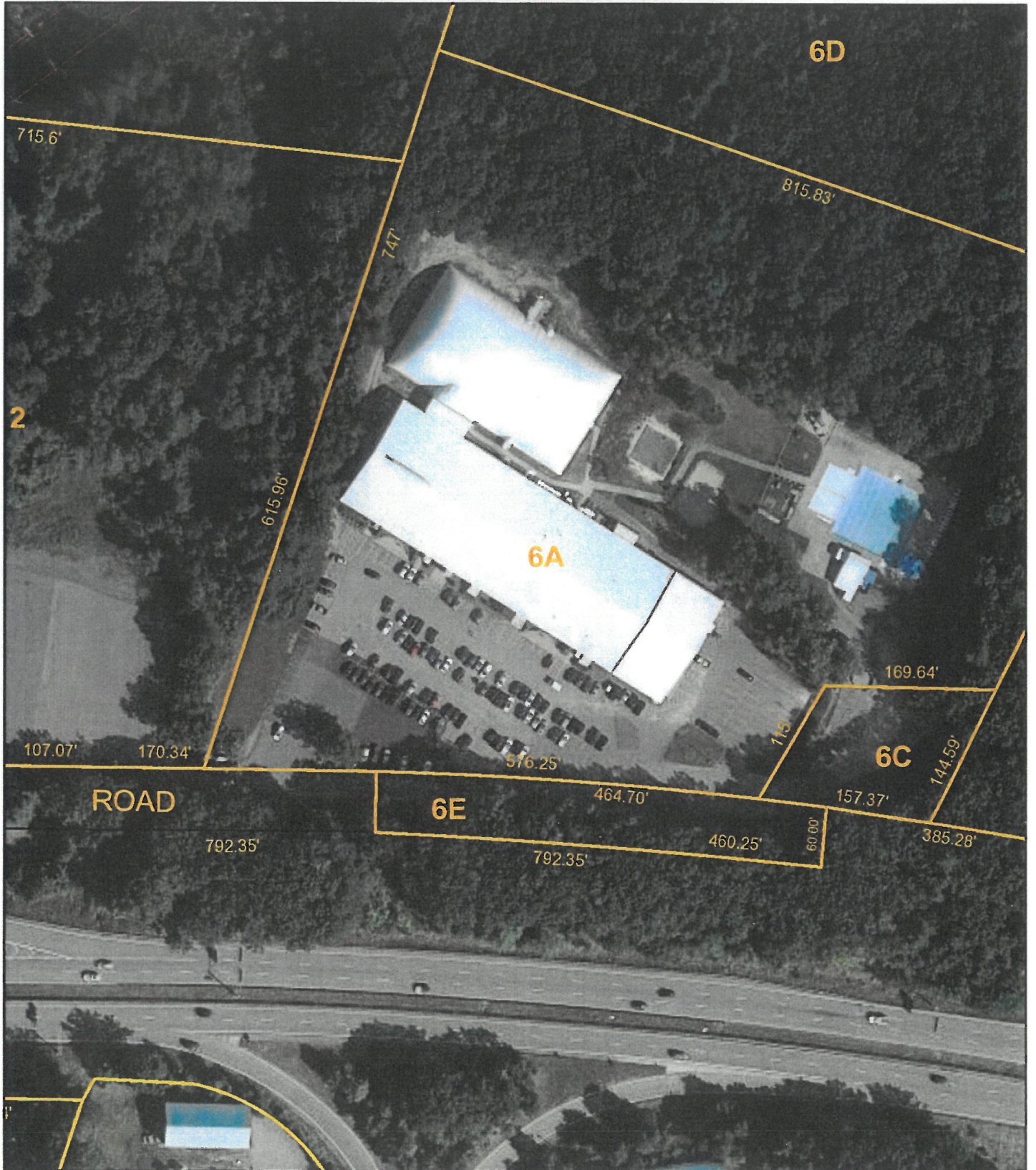
Lancaster, MA



October 31, 2021

1 inch = 138 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

LANCASTER HISTORICAL COMMISSION
701 MAIN ST. SUITE 8 LANCASTER, MA 01523

E-MAIL HISTORICAL@LANCASTERMA.NET

PHONE: (978) 365-3326 EXT. 1057

DATE: November 1, 2021

TO: Alix Turner, Lancaster Select Board (SB)

FROM: Lancaster Historical Commission (LHC)

SUBJECT: Property on Old Common Road currently under the control of the Massachusetts Department of Capital Management and Maintenance (DCAMM)

Dear Alix,

At the October 27, 2021 meeting of the LHC, members shared their thoughts and observations following a tour of the above mentioned property conducted by Lisa Verocchi on October 13, 2021. The tour primarily included the interiors of the central school building, the Putnam cottage, and, a walk around the campus grounds.

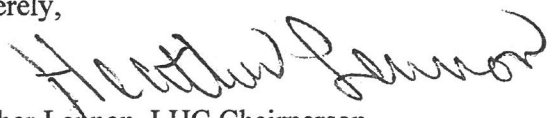
It is the consensus of LHC members that, though the buildings are run down and in deteriorating condition due to deferred maintenance, they, nonetheless, have strong "structural bones". Thus, they are very well suited for rehabilitation and re-use for a variety of housing types. We believe this to be the case for most, if not all, the large brick structures on the campus.

Though we did not go inside, we also believe the white antique "Oliver Carter" house along the roadside is *also not beyond rehabilitation* contrary to what some would lead one to believe. If restored, we are of the opinion that this house would serve well as a Town Museum. Having a Town Museum was, in fact, suggested in the town's "Master Plan" of 2007. LHC members would very much like to see this antique structure, and the land immediately surrounding it, set aside for this purpose. Since the entire campus is on the National Register of Historic Places (NRHP), we think this would be very appropriate and fitting.

The LHC is unanimous in its support of the ideas above mentioned. We respectfully request that you, and all those involved, take this into serious consideration as you move forward with the decision-making processes.

Thank you very much.

Sincerely,



Heather Lennon, LHC Chairperson

cc: SB Members, Town Administrator (TA), Lancaster Affordable Housing Trust (LAHT) Chairperson, Planning Board (PB) Chairperson



TOWN OF LANCASTER
OFFICE OF THE
SELECT BOARD

RECEIVED

NOV 04 2021

COMMUNITY DEVELOPMENT
AND PLANNING

Jason A. Allison, Chairman
Jay M. Moody, Clerk
Alexandra W. Turner, Member

Orlando Pacheco, Town Administrator
Kathleen A. Rocco, Executive Assistant,

MEMORANDUM

TO: BOARD OF APPEALS, BOARD OF ASSESSORS, BOARD OF HEALTH,
BUILDING COMMISSIONER, COLLECTOR-TREASURER,
CONSERVATION COMMISSION, DEPARTMENT OF PUBLIC WORKS,
FIRE DEPARTMENT, PLANNING BOARD, POLICE DEPARTMENT, TOWN
CLERK

FROM: Kathleen Rocco, Executive Assistant

CC: Select Board & Orlando Pacheco, Town Administrator

DATE: November 1, 2021

RE: ***Notice of Public Hearing – National Grid & Verizon New England, Inc.
Petition for Joint or Identical Pole Locations – Old Union Turnpike***

The Board is in the process of reviewing National Grid & Verizon New England, Inc.'s Petition for the above –referenced. Our office would appreciate your cooperation by assisting us in this process. Attached please find the following:

- National Grid & Verizon New England, Inc. 's Petition for Joint or Identical Pole Locations – Old Union Turnpike;
- Petition Sketch;
- Town of Lancaster Notice of Public Hearing; and
- Department Comment Sheet.

Please complete the Department Comment Form, with any comments you feel appropriate on said Petition.

Please return the form(s) to the Selectmen's Office **no later than Friday, November 12, 2021.**

Thank you for your assistance in this matter.

Enclosures

Questions contact – Ben Fisk 781-907-4447

PETITION FOR JOINT OR IDENTICAL POLE LOCATIONS

To the Board of Selectmen
Of Lancaster, Massachusetts

North Andover, Massachusetts

Massachusetts Electric Company d/b/a National Grid and Verizon New England, Inc requests permission to locate poles, wires, and fixtures, including the necessary sustaining and protecting fixtures, along and across the following public way:

Old Union Turnpike - National Grid to install 1 JO Pole on Old Union Turnpike beginning at a point approximately 20 feet northeast of the centerline of the intersection of Old Union Turnpike. Installing Pole 144-50 as shown.

Location approximately as shown on plan attached

Wherefore it prays that after due notice and hearing as provided by law, it be granted a location for and permission to erect and maintain poles and wires, together with such sustaining and protecting fixtures as it may find necessary, said poles to be erected substantially in accordance with the plan filed herewith marked – Old Union Turnpike - Lancaster - Massachusetts.

No. 25643379 September 14, 2021

Also for permission to lay and maintain underground laterals, cables, and wires in the above or intersecting public ways for the purpose of making connections with such poles and buildings as each of said petitioners may desire for distributing purposes.

Your petitioner agrees to reserve space for one cross-arm at a suitable point on each of said poles for the fire, police, telephone, and telegraph signal wires belonging to the municipality and used by it exclusively for municipal purposes.

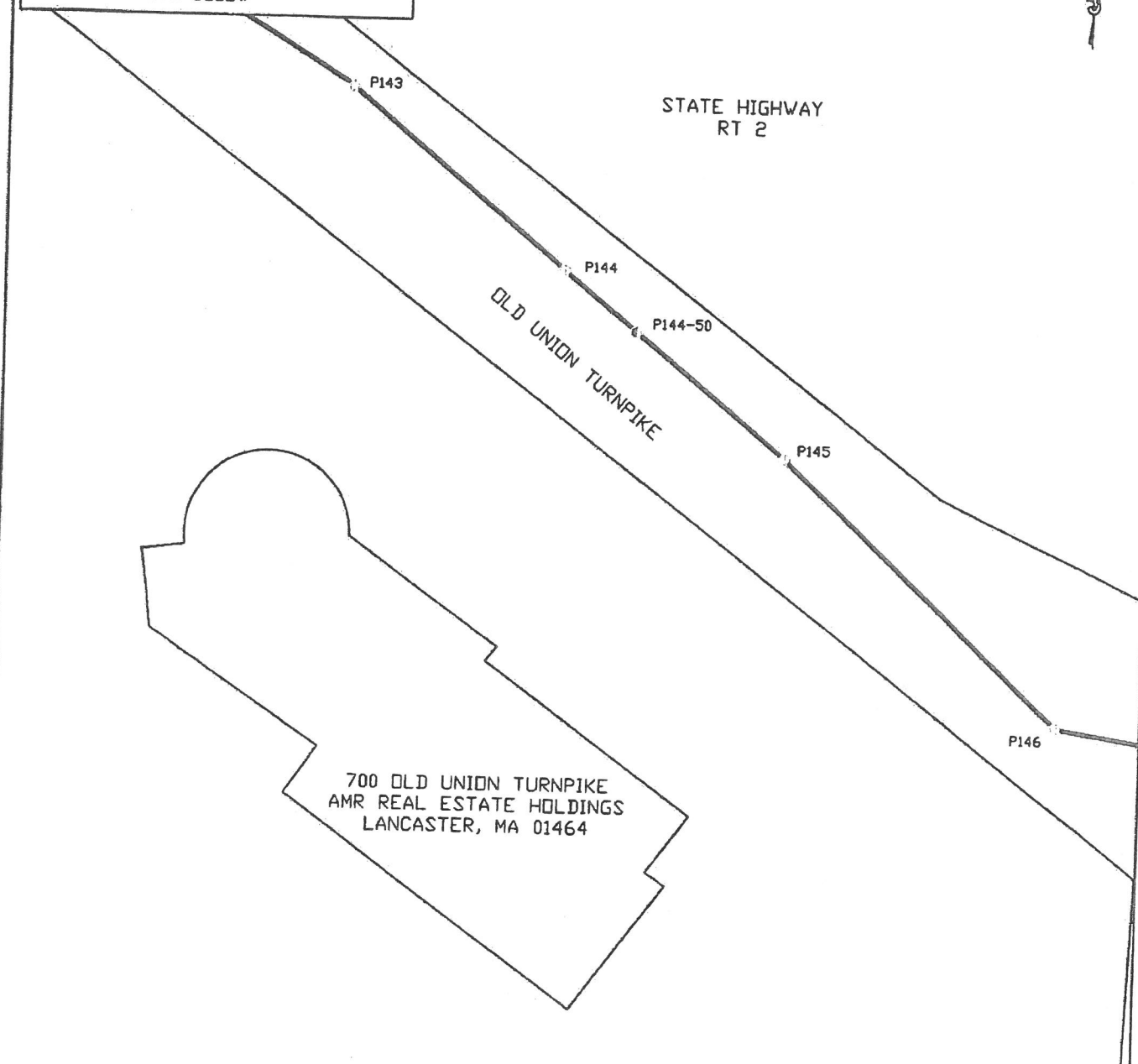
Massachusetts Electric Company d/b/a National Grid
BY Pat Cody
Engineering Department

VERIZON NEW ENGLAND, INC.
BY _____

Manager / Right of Way

SKETCH TO ACCOMPANY PETITION:

NATIONAL GRID REQUESTING PERMISSION
TO INSTALL NEW POLE P144-50 AT THE
LOCATION SHOWN BELOW



700 OLD UNION TURNPIKE
AMR REAL ESTATE HOLDINGS
LANCASTER, MA 01464

LEGEND

⊙ EXISTING J/O POLE

⊙ PROPOSED J/O POLE

— OH PRIMARY

TOWN PETITION

Date: 8/4/2021

Designer: FISKBE

LANCASTER, MA W/R: 25643379

700 OLD UNION TURNPIKE

Not to scale. The exact location of said facilities to be established upon the installation and erection of the facilities thereof.





**TOWN OF LANCASTER
NOTICE OF PUBLIC HEARING
PETITION FOR JOINT OR IDENTICAL POLE
LOCATIONS**

**TO WHOM IT MAY CONCERN AS INTERESTED PARTY
OR AN ABUTTER OF RECORD:**

Under the provisions of Chapter 166, Section 22 of the General Laws, and any additions thereto or amendments thereof, a Public Hearing is scheduled for **Monday, 6:30 pm on November 15, 2020 via ZOOM** to consider a petition submitted by National Grid and Verizon New England, Inc., requests permission to locate poles, wires, and fixtures, including the necessary sustaining and protecting fixtures, along and across the following public way:

Old Union Turnpike – National Grid to install 1 JO Pole on Old Union Turnpike beginning at a point approximately 20 feet northeast of the centerline of the intersection of Old Union Turnpike. Installing Pole 144-50.

LANCASTER SELECT BOARD

The Item –October 29, 2021 & November 5, 2021



TOWN OF LANCASTER
SELECT BOARD

DEPARTMENT COMMENT FORM

DEPARTMENT/BOARD NAME: _____

Applicant: National Grid and Verizon New England, Inc.

Requests: Permission to locate poles, wires, and fixtures, including the necessary sustaining and protecting fixture, along and across the following public way:

Old Union Turnpike – National Grid to install 1 JO Pole on Old Union Turnpike beginning at a point approximately 20 feet northeast of the centerline of the intersection of Old Union Turnpike. Installing Pole 144-50 as shown.

Location: Old Union Turnpike

COMMENTS: _____

DATE: _____

DEPARTMENT HEAD SIGNATURE _____

NOTE: IF A CODE VIOLATION EXISTS, PLEASE CITE THE RULE OR REGULATION.



TOWN OF LANCASTER

OFFICE OF THE
SELECT BOARD COMMUNITY DEVELOPMENT
AND PLANNING

RECEIVED

NOV 04 2021

12

*Jason A. Allison, Chairman
Jay M. Moody, Clerk
Alexandra W. Turner, Member*

*Orlando Pacheco, Town Administrator
Kathleen A. Rocco, Executive Assistant,*

MEMORANDUM

TO: BOARD OF APPEALS, BOARD OF ASSESSORS, BOARD OF HEALTH, BUILDING COMMISSIONER, COLLECTOR-TREASURER, CONSERVATION COMMISSION, DEPARTMENT OF PUBLIC WORKS, FIRE DEPARTMENT, PLANNING BOARD, POLICE DEPARTMENT, TOWN CLERK

FROM: Kathleen Rocco, Executive Assistant

CC: Select Board & Orlando Pacheco, Town Administrator

DATE: November 1, 2021

RE: *Notice of Public Hearing – National Grid & Verizon New England, Inc.
Petition for Joint or Identical Pole Locations – Fort Pond Road*

The Board is in the process of reviewing National Grid & Verizon New England, Inc.'s Petition for the above –referenced. Our office would appreciate your cooperation by assisting us in this process. Attached please find the following:

- National Grid & Verizon New England, Inc. 's Petition for Joint or Identical Pole Locations – Fort Pond Road;
- Petition Sketch;
- Town of Lancaster Notice of Public Hearing; and
- Department Comment Sheet.

Please complete the Department Comment Form, with any comments you feel appropriate on said Petition.

Please return the form(s) to the Selectmen's Office no later than Friday, November 12, 2021.

Thank you for your assistance in this matter.

Enclosures

Questions contact – Ben Fisk 781-907-4447

PETITION FOR JOINT OR IDENTICAL POLE LOCATIONS

North Andover, Massachusetts

To the Board of Selectmen
Of Lancaster, Massachusetts

Massachusetts Electric Company d/b/a National Grid and Verizon New England, Inc requests permission to locate poles, wires, and fixtures, including the necessary sustaining and protecting fixtures, along and across the following public way:

Fort Pond Rd - National Grid to install 1 JO Pole on Fort Pond Rd beginning at a point approximately 20 feet south of the centerline of the intersection of Fort Pond Rd. Installing Pole 21-50 as shown.

Location approximately as shown on plan attached

Wherefore it prays that after due notice and hearing as provided by law, it be granted a location for and permission to erect and maintain poles and wires, together with such sustaining and protecting fixtures as it may find necessary, said poles to be erected substantially in accordance with the plan filed herewith marked – Fort Pond Rd - Lancaster - Massachusetts.

No. 25643379 September 14, 2021

Also for permission to lay and maintain underground laterals, cables, and wires in the above or intersecting public ways for the purpose of making connections with such poles and buildings as each of said petitioners may desire for distributing purposes.

Your petitioner agrees to reserve space for one cross-arm at a suitable point on each of said poles for the fire, police, telephone, and telegraph signal wires belonging to the municipality and used by it exclusively for municipal purposes.

Massachusetts Electric Company d/b/a National Grid
BY Pat Cody
Engineering Department

VERIZON NEW ENGLAND, INC.

BY _____
Manager / Right of Way

SKETCH TO ACCOMPANY PETITION

NATIONAL GRID REQUESTING PERMISSION TO INSTALL NEW POLE P21-50 AT THE LOCATION SHOWN BELOW

132 FORT POND RD
FITCHBURG Y.M.C.A.
BOOK 3865, PAGE 341

580 FORT POND RD
R.W. FORT POND REALTY
L.C. BOOK 86, PAGE 71

0 FORT POND RD
R.W. FORT POND REALTY
L.C. BOOK 84, PAGE 69

STATE HIGHWAY
RT 2

FORT POND RD

P21

P21-50

P22

P21-51

P21-52

P21-53

LEGEND

EXISTING J/O POLE



PROPOSED J/O POLE



PROPOSED S/O POLE



ANCHOR



OH PRIMARY

TOWN PETITION

Date: 8/4/2021

Designer: FISKBE

W/R: 25643379

580 FORT POND RD

LANCASTER, MA

Exhibit 'A' not to scale. The exact location of said facilities to be established upon the installation and erection of the facilities thereof

nationalgrid



**TOWN OF LANCASTER
NOTICE OF PUBLIC HEARING
PETITION FOR JOINT OR IDENTICAL POLE
LOCATIONS**

**TO WHOM IT MAY CONCERN AS INTERESTED PARTY
OR AN ABUTTER OF RECORD:**

Under the provisions of Chapter 166, Section 22 of the General Laws, and any additions thereto or amendments thereof, a Public Hearing is scheduled for **Monday, 6:15 pm on November 15, 2021 via ZOOM** to consider a petition submitted by National Grid and Verizon New England, Inc., requests permission to locate poles, wires, and fixtures, including the necessary sustaining and protecting fixtures, along and across the following public way:

Fort Pond Road – National Grid to install 1 JO Pole on Fort Pond Road beginning at a point approximately 20 feet south of the centerline of the intersection of Ford Pond road. Installing Pole 21-50.

LANCASTER SELECT BOARD

The Item –October 29, 2021 & November 5, 2021



TOWN OF LANCASTER
SELECT BOARD

DEPARTMENT COMMENT FORM

DEPARTMENT/BOARD NAME: _____

Applicant: National Grid and Verizon New England, Inc.

Requests: Permission to locate poles, wires, and fixtures, including the necessary sustaining and protecting fixture, along and across the following public way:

Fort Pond Road – National Grid to install 1 JO Pole on Fort Pond Road beginning at a point approximately 20 feet south of the centerline of the intersection of Ford Pond road. Installing Pole 21-50.

Location: Fort Pond Road

COMMENTS: _____

DATE: _____

DEPARTMENT HEAD SIGNATURE

NOTE: IF A CODE VIOLATION EXISTS, PLEASE CITE THE RULE OR REGULATION.